

AGENDA
Tulsa County Board of Adjustment
Regularly Scheduled Meeting
Tuesday, November 16, 2021, 1:30 p.m.
Williams Tower I
1 West 3rd Street, St. Francis Room

Meeting No. 500

INTRODUCTION AND NOTICE TO THE PUBLIC

At this Meeting the Board of Adjustment, in accord with and pursuant to applicable Board of Adjustment Policies and Procedures, will review, consider, discuss, and may take action on, approve, amend, modify, approve with amendment(s) or modification(s), deny, reject, or defer any action on any item listed on this Agenda.

Review and possible approval, approval with modifications, denial or deferral of the following:

1. Approval of **Minutes** of October 19, 2021 (Meeting No. 499).

Review and possible approval, approval with modifications, denial or deferral of the following:

UNFINISHED BUSINESS

None.

NEW APPLICATIONS

Review and possible approval, approval with modifications, denial or deferral of the following:

2. **2931—Jim Coleman**
Variance to reduce the required frontage in a CG District from 100 feet to 15.82 feet to permit a lot split (Section 730). **LOCATION:** 26919 West 51 Highway South
3. **2932—Chris Griffin**
Use Variance to allow an overnight campground for recreational vehicles, Use Unit 17, Automotive and Allied Activities, in an AG District (Section 310); Variance from the all-weather parking surface requirement (Section 1340.D). **LOCATION:** 3939 East 161st Street South

4. **2934—Mark Capron**
Modification to a previously approved site plan (CBOA-1690) to add an additional building and splash pad (Section 1205). **LOCATION:** 200 West 46th Street North

5. **2935—CRB Companies, LLC**
Special Exception to permit a 145-foot communications tower (Use Unit 4 - Public Protection and Utility Facilities) in an AG District (Section 310 and Section 1204.3); Special Exception to reduce the required tower setback (110% of the tower height) from the adjoining AG zoned lots (Section 1204.3). **LOCATION:** 7845 North 71st Avenue East

6. **2936—Sherri Coghill**
Special Exception to permit a single-wide mobile home in an RS District (Section 410). **LOCATION:** 1655 East 71st Street North

7. **2937—Lorenda Christensen**
Variance to allow the total combined floor area of accessory buildings to exceed 750 square feet in an RS District (Section 240.2-E). **LOCATION:** 2137 South 59th Avenue West

OTHER BUSINESS

8. **Review** and Approval of 2022 Meeting Schedule.

NEW BUSINESS

BOARD MEMBER COMMENTS

ADJOURNMENT

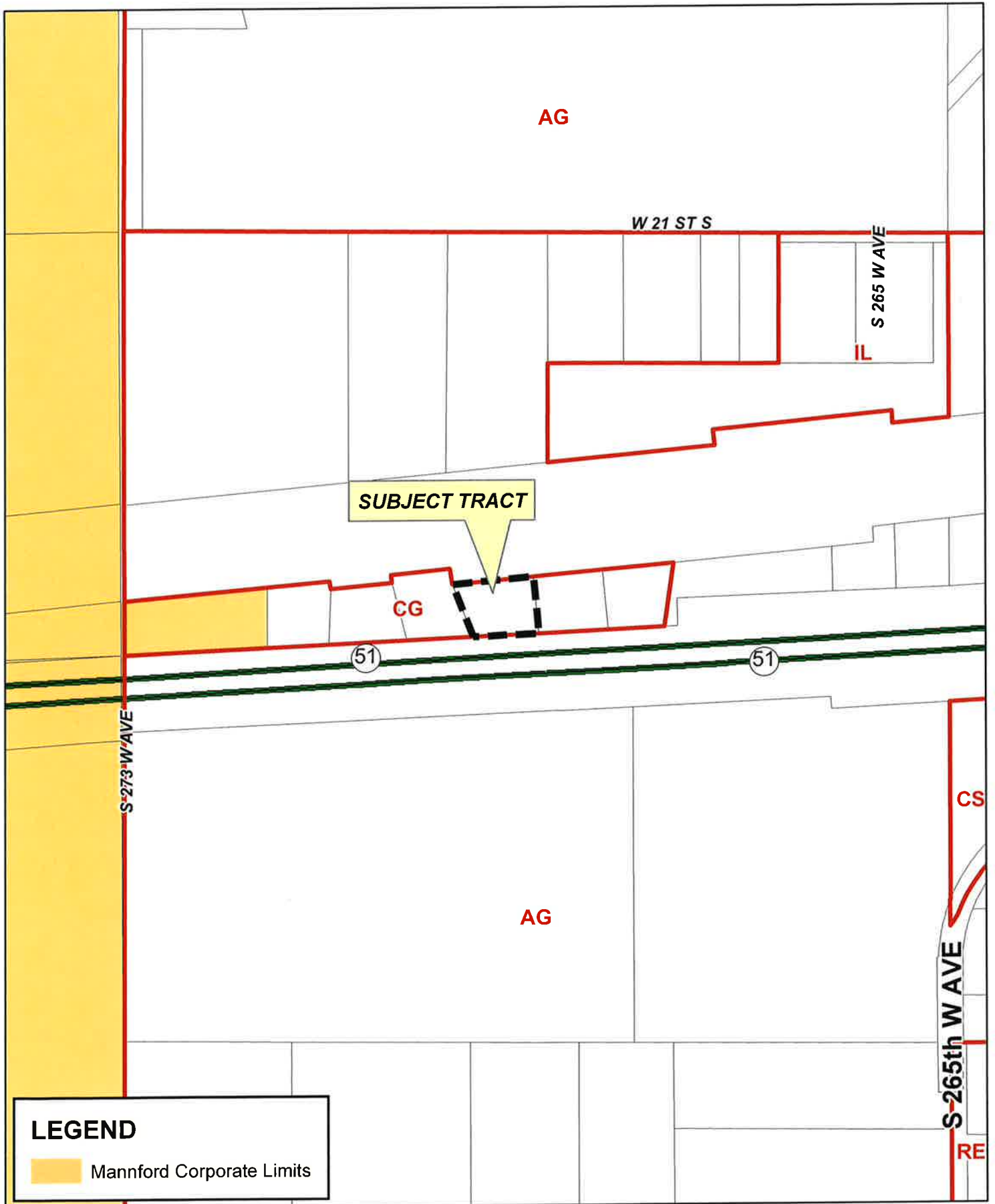
Website: tulsaplanning.org

E-mail: esubmit@incog.org

If you require special accommodations pursuant to the Americans with Disabilities Act, please call 918-584-7526.

NOTE: Exhibits, Petitions, Pictures, etc., presented to the Board of Adjustment may be received and deposited in case files to be maintained at the Tulsa Planning Office at INCOG. *All electronic devices must be silenced* during the Board of Adjustment meeting.

NOTE: This agenda is for informational purposes only and is not an official posting. Please contact the Tulsa Planning Office at 918-584-7526 if you require an official posted agenda.



LEGEND

 Mannford Corporate Limits



CBOA-2931

19-10 18



CBOA-2931 2.1

**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 9018

CZM: 32

CASE NUMBER: CBOA-2931

CASE REPORT PREPARED BY: Robi Jones

HEARING DATE: 11/16/2021 1:30 PM

APPLICANT: Jim Coleman

ACTION REQUESTED: Variance to reduce the required frontage in a CG District from 100 feet to 15.82 feet to permit a lot split (Sec. 730)

LOCATION: 26919 W 51 HY S

ZONED: CG

FENCELINE: Keystone

PRESENT USE: Vacant with a Billboard

TRACT SIZE: 1 acres

LEGAL DESCRIPTION: LOT 5 BLOCK 1, KEYSTONE HILLS

RELEVANT PREVIOUS ACTIONS: None Relevant

ANALYSIS OF SURROUNDING AREA: The subject tract is located along West Highway 51 just east of Creek County and the City of Mannford. It abuts CG (Commercial General) zoning to the east and west, it abuts AG (Agricultural) zoning to the north and south. Surrounding properties appear to be vacant or used for agricultural purposes.

STAFF COMMENTS:

The applicant is before the Board requesting a Variance to reduce the required frontage in a CG District from 100 feet to 15.82 feet to permit a lot split (Sec. 730).

The Code requires 100 feet of frontage on an Arterial Street and Freeway Service Road in a CG district. West Highway 51 Expressway is identified as a Primary Arterial Street in the Major Street and Highway Plan.

The purpose of the lot split is to separate the portion from the property with a billboard from the remaining tract. The applicant has submitted a site plan showing the proposed split.

The applicant provided the following statement: *“Existing billboard on site.”*

If inclined to approve the Board may consider any condition it deems necessary and reasonably related to the request to ensure that the proposed use and future development of the subject property is compatible with and non-injurious to the surrounding area.

Sample Motion:

“Move to _____ (approve/deny) a Variance to reduce the required frontage in a CG District from 100 feet to 15.82 feet to permit a lot split (Sec. 730).”

Finding the hardship to be _____.

Finding by reason of extraordinary or exceptional conditions or circumstances, which are peculiar to the land, structure or building involved, the literal enforcement of the terms of the Code would result in unnecessary hardship; that such extraordinary or exceptional conditions or circumstances do not apply generally to other property in the same use district; and that the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of the Code, or the Comprehensive Plan.”



SUBJECT TRACT

W 21 ST S

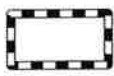
S 265 W AVE

51

51

S 273 W AVE

S 265th W AVE



Subject Tract

CBOA-2931

Note: Graphic overlays may not precisely align with physical features on the ground.

19-10 18

Aerial Photo Date: 2018



CBOA-2931 2.4

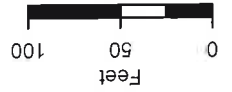


Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: 2018

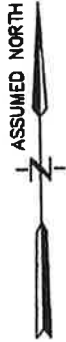
19-10 18

CBOA-2931

Subject Tract



SURVEYOR
CHARLES K. HOWARD
9900 W. 128th St. So.
OKTAHA, OKLAHOMA 74450
TEL.: (918) 260-5094
E-MAIL: ckh1939@yahoo.com

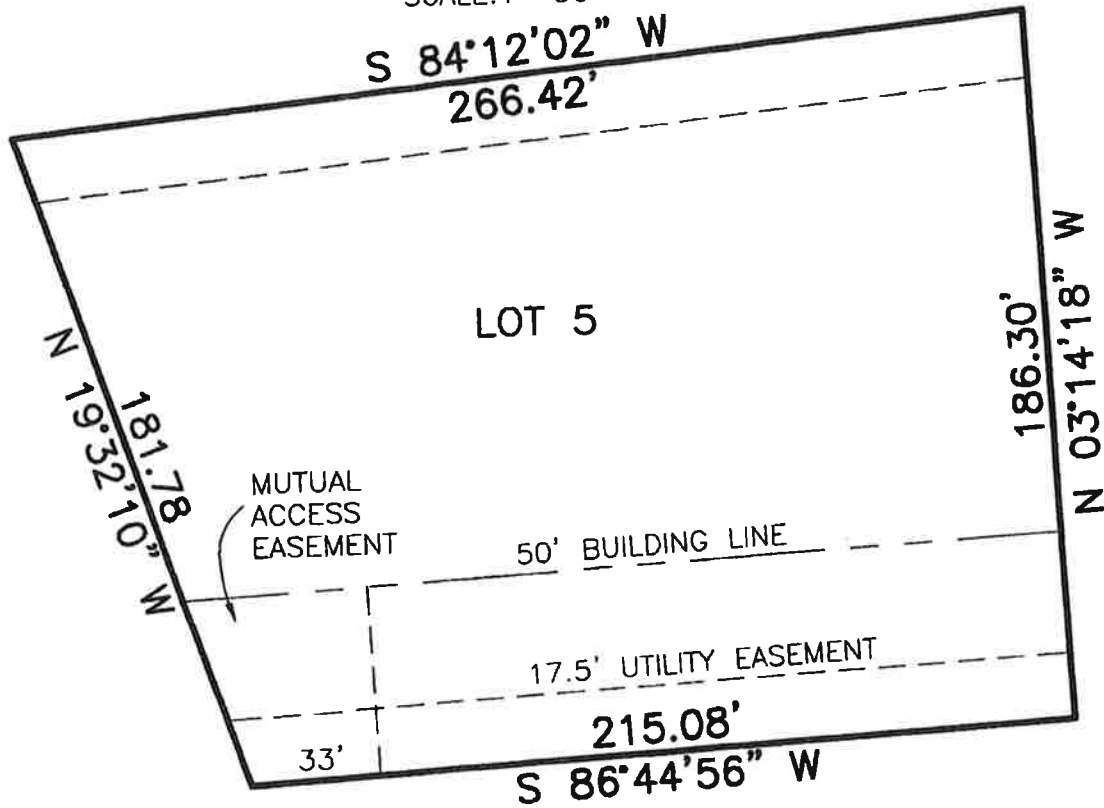


Parent Tract

LOT SPLIT



SCALE: 1" = 50'



Lot 5, KEYSTONE HILLS, a subdivision located in Section 18,
T-19-N, R-10-E, Tulsa County, Oklahoma.

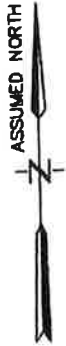
THIS PLAT OF SURVEY MEETS THE OKLAHOMA
MINIMUM STANDARDS FOR THE PRACTICE OF
LAND SURVEYORS AS ADOPTED BY THE
OKLAHOMA STATE BOARD OF REGISTRATION
FOR PROFESSIONAL ENGINEERS AND
LAND SURVEYORS.



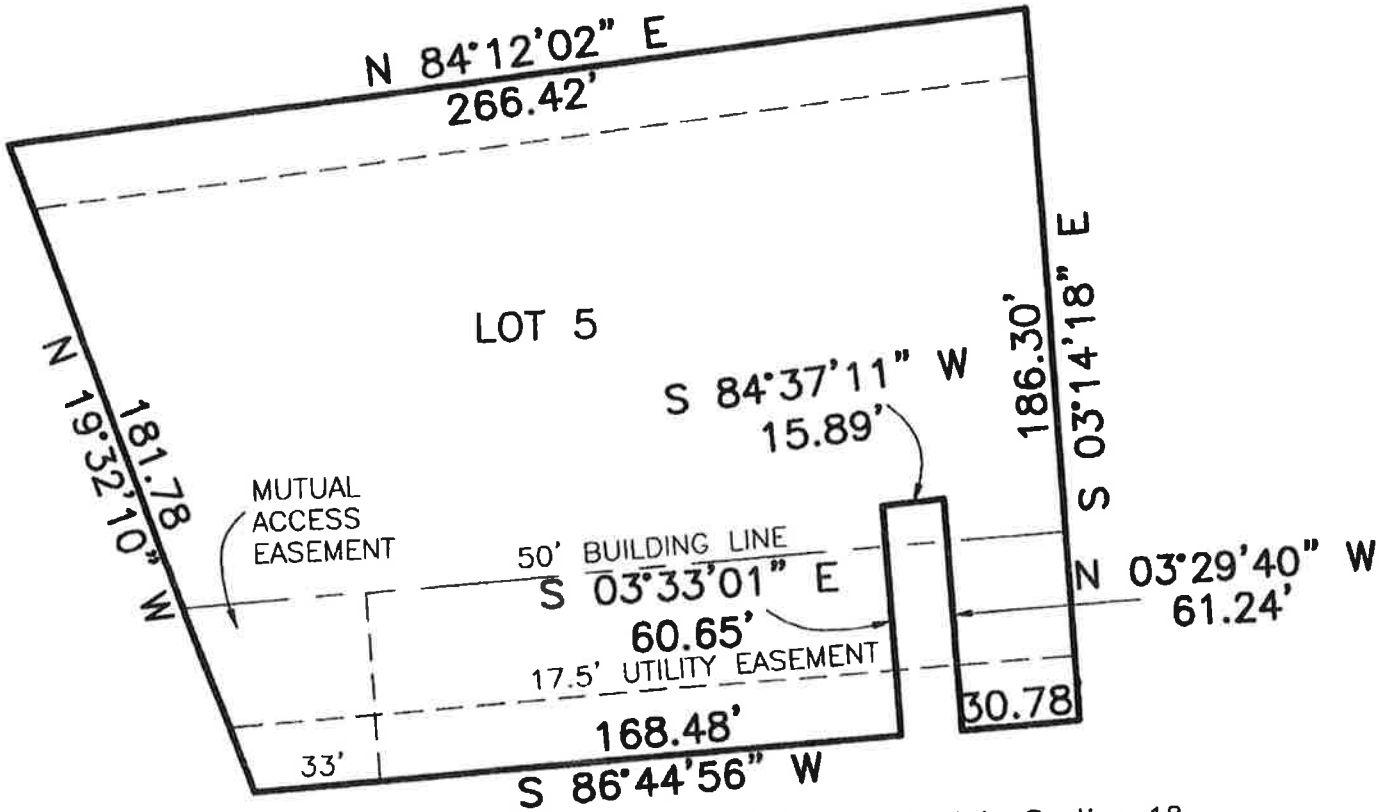
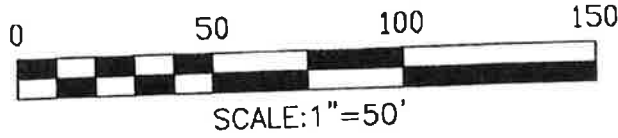
9/20/20
Charles K. Howard
CHARLES K. HOWARD L.S. 297
REGISTERED PROFESSIONAL LAND SURVEYOR

SURVEYOR
CHARLES K. HOWARD
 9900 W. 128th St. So.
 OKTAHA, OKLAHOMA 74450
 TEL.: (918)260-5094
 E-MAIL: ckh1939@yahoo.com

**Proposed
 Remaining Tract**



LOT SPLIT



Lot 5, KEYSTONE HILLS, a subdivision located in Section 18, T-19-N, R-10-E, Tulsa County, Oklahoma. Less a tract of land commencing at the SE corner of Said Lot 5; thence S-86°47'34"-W along the South line of said Lot 5 a distance of 30.78 ft. to the point of beginning; thence N-3°29'40"-W a distance of 61.24 ft.; thence S-84°37'11"-W a distance of 15.89 ft.; thence S-03°33'01"-E a distance of 80.65 ft.; thence N-86°47'34"-E a distance of 15.82 ft. to the point of beginning.

THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYORS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

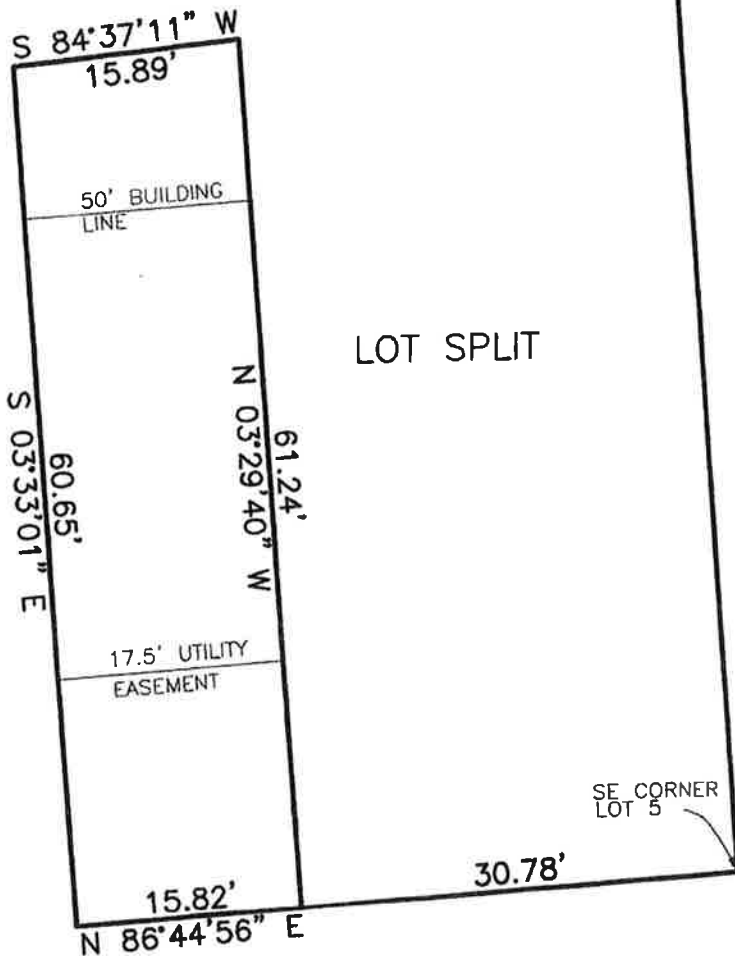
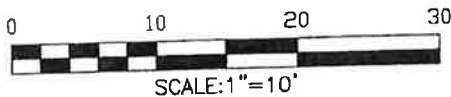


9/20/21

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 TEL.: (918)260-5094
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Proposed Lot Split - Billboard Site



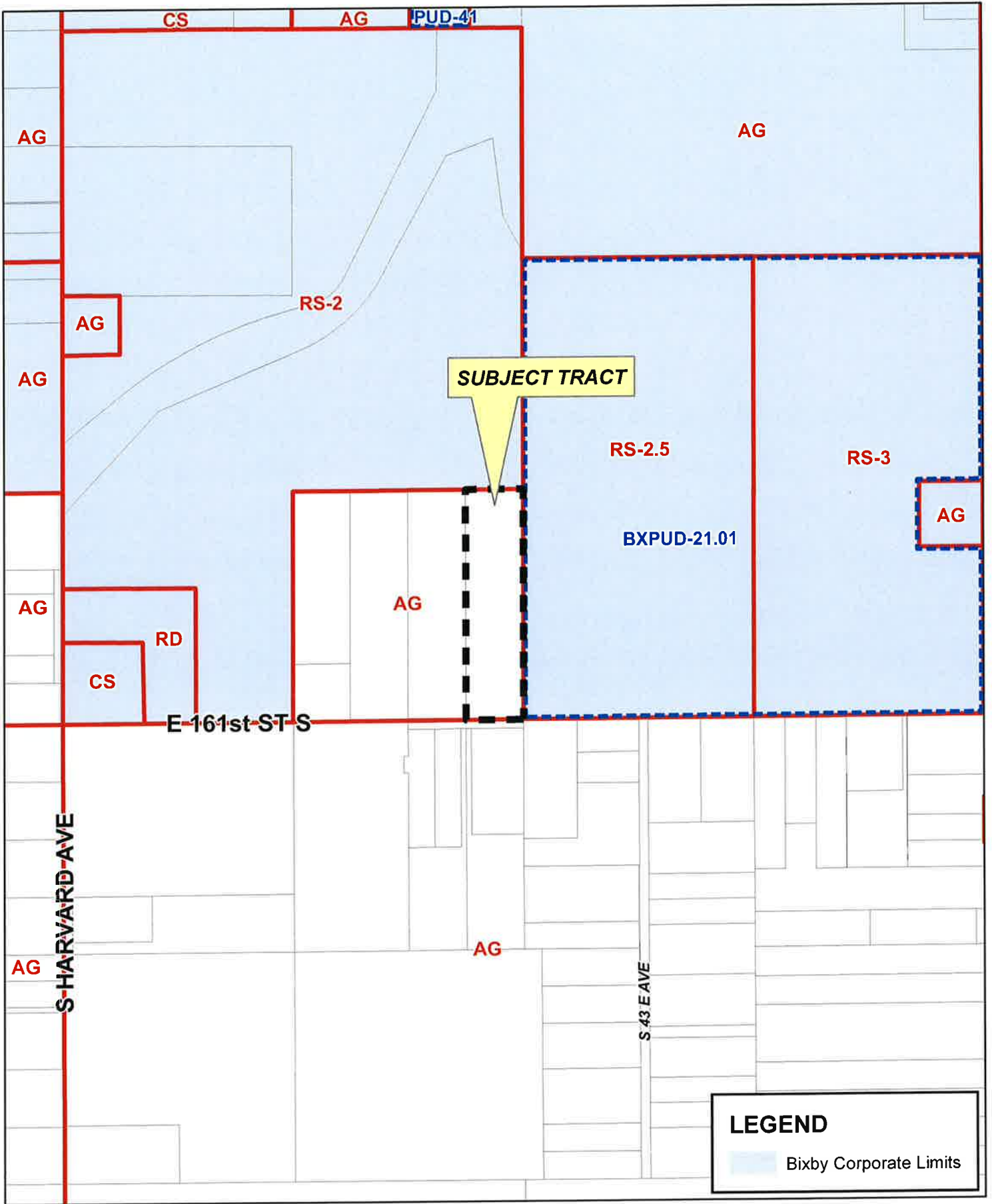
A tract of land located in Lot 5, KEYSTONE HILLS, a subdivision located in Section 18, T-19-N, R-10-E, Tulsa County, Oklahoma; commencing at the SE corner of Said Lot 5; thence S-86°47'34"-W along the South line of said Lot 5 a distance of 30.78 ft. to the point of beginning; thence N-3°29'40"-W a distance of 61.24 ft.; thence S-84°37'11"-W a distance of 15.89 ft.; thence S-03°33'01"-E a distance of 80.65 ft.; thence N-86°47'34"-E a distance of 15.82 ft. to the point of beginning.

THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYORS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.



9/20/21

Charles K. Howard
 CHARLES K. HOWARD L.S. 297
 REGISTERED PROFESSIONAL LAND SURVEYOR



CBOA-2932

17-13 21



**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 7321

CZM: 66

CASE NUMBER: CBOA-2932

CASE REPORT PREPARED BY: Robi Jones

HEARING DATE: 11/16/2021 1:30 PM

APPLICANT: Chris Griffin

ACTION REQUESTED: Use Variance to allow an Overnight Campground for Recreational Vehicles, Use Unit 17 - Automotive and Allied Activities, in an AG district (Section 310); and a Variance from the all-weather parking surface requirement (Section 1340.D).

LOCATION: 3939 E 161 ST S

ZONED: AG

FENCELINE: Bixby

PRESENT USE: Apartment Complex

TRACT SIZE: 10 acres

LEGAL DESCRIPTION: E/2 E/2 SE SW SEC 21 17 13,

RELEVANT PREVIOUS ACTIONS:

Subject Property:

CBOA-1501 May 1997: The Board **denied** a *Variance* to permit 9 dwellings on one lot of record; a *Variance* to permit multi-family dwellings in an AG district; and a *Variance* of the all-weather surface requirement for parking, on property located at 3939 East 161st Street South.

CBOA-1175 July 1993: The Board **approved** a *Variance* to permit two dwelling units on one lot of record, on property located at 3939 East 161st Street.

ANALYSIS OF SURROUNDING AREA: The subject tract abuts AG zoning to the west and south. It abuts RS-2 zoning to the north and RS-2.5 zoning to the east, both which are located within the city limits of Bixby. Surrounding uses appear to be vacant or agricultural with a smattering of residential.

STAFF COMMENTS:

The applicant is before the Board requesting a Use Variance to allow an Overnight Campground for Recreational Vehicles, Use Unit 17 - Automotive and Allied Activities, in an AG district (Section 310); and a Variance from the all-weather parking surface requirement (Section 1340.D).

The applicant provided the following statement:

"The apartments have been in this location for over 30 years with no detriment to the public good. We are in hopes that the campground would allow for removal of the apartments in the future and allow for additional improvements to this area."

A **Use Variance** is required because an Overnight Campground for Recreational Vehicles, Use Unit 17, is not permitted in an AG zoning district due to potential adverse affect. The site plan provided by

the applicant indicates that the Overnight Campground will be located on the western portion of the property. There are existing apartment buildings on the east side of the property that appear to be non-conforming and are not a part of this request. The applicant has indicated that they will be torn down and removed sometime in the future.

The applicant proposes unpaved (gravel) parking spaces for each pad site. The Code requires all parking surfaces be paved to maintain a minimum level of aesthetics, but more importantly to control air-borne particles like dust and to control the tracking of dirt and mud onto public streets. The applicant is requesting a Variance of the all-weather parking surface requirement (Section 1340.D).

Sample Motion:

“Move to _____ (approve/deny) a Use Variance to allow an Overnight Campground for Recreational Vehicles, Use Unit 17 - Automotive and Allied Activities, in an AG district (Section 310); and a Variance from the all-weather parking surface requirement (Section 1340.D).

Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.

Subject to the following conditions, if any: _____.

Finding the hardship to be _____.

In granting a Variance, the Board must find that by reason of extraordinary or exceptional conditions or circumstances which are peculiar to the land, structure or building involved, the literal enforcement of the terms of the Code would result in unnecessary hardship; that such extraordinary or exceptional conditions or circumstances do not apply generally to other property in the same use district; and that the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of the Code, or the Comprehensive Plan.”

Case No. 1174 (continued)

Protestants:

None.

Board Action:

On MOTION of WALKER, the Board voted 3-0-0 (Alberty, Eller, Walker, "aye"; no "nays"; no "abstentions"; Looney, Tyndall, "absent") to APPROVE a **Special Exception** to permit a mobile home in an RS zoned district - **Section 410. PRINCIPAL USES PERMITTED IN THE RESIDENTIAL DISTRICTS** - Use Unit 9; subject to compliance with all County requirements; and subject to the applicant confirming the validity of the lot split; finding a hardship demonstrated by the size of the tract, and the fact that there is sufficient land area to accommodate the additional dwelling unit; and finding that there are numerous mobile homes in the neighborhood; on the following described property:

East 177.5', south 355', E/2, SE/4, SW/4, SE/4, less the east 25' and less south 50' thereof for roads, Section 36, T-19-N, R-11-E, Tulsa County, Oklahoma.

Case No. 1175

Action Requested:

Variance to permit two dwelling units on one lot of record - **Section 208. ONE SINGLE-FAMILY DWELLING PER LOT OF RECORD** - Use Unit 6, located 3939 East 161st Street South.

Presentation:

The applicant, **David Owens**, 3939 East 161st Street, Bixby, Oklahoma, submitted a plot plan (B-1) and informed that he owns a 10-acre tract, which contains a small house and a shed. Mr. Owens stated that he has removed the shed and is proposing to construct another small house on the tract for his residence.

Protestants:

None.

Board Action:

On MOTION of WALKER, the Board voted 3-0-0 (Alberty, Eller, Walker, "aye"; no "nays"; no "abstentions"; Looney, Tyndall, "absent") to APPROVE a **Variance** to permit two dwelling units on one lot of record - **Section 208. ONE SINGLE-FAMILY DWELLING PER LOT OF RECORD** - Use Unit 6; finding a hardship demonstrated by the large size of the tract, and the fact that there is sufficient land area to accommodate two dwelling units; on the following described property:

Case No. 1175 (continued)

E/2, E/2, SE/4, SW/4, Section 21, T-17-N, R-13-E,
Tulsa County, Oklahoma.

Case No. 1176

Action Requested:

Variance of the required setback from an abutting R District from 75' to 19', and a variance of the required setback from the centerline of an abutting street from 50' to 35' - **Section 930. BULK AND AREA REQUIREMENTS IN THE INDUSTRIAL DISTRICTS**, located NE/c of South 45th West Avenue and West 56th Street South.

Comments and Questions:

Mr. Gardner advised that the area surrounding the subject property is planned for industrial uses, and the closest residential properties are to the south and east. He pointed out that the proposed building location is near the north and west boundaries of the property.

Presentation:

The applicant, **James Beckert**, 810 South Cincinnati, Suite 400, submitted a plot plan (Exhibit C-1) and stated that he is representing the property owners. He informed that the building will contain a diesel repair operation, which is to be located in the northwest corner of the lot. Mr. Beckert informed that there has been no neighborhood opposition to the project.

Comments and Questions:

Mr. Alberty noted that the setback request is from a residentially zoned property to the north that is not used for residential purposes, and that the proposed building will be set back further than 75' from the dwelling to the east.

Protestants:

None.

Board Action:

On **MOTION** of **ELLER**, the Board voted 3-0-0 (Alberty, Eller, Walker, "aye"; no "nays"; no "abstentions"; Looney, Tyndall, "absent") to **APPROVE** a **Variance** of the required setback from an abutting R District from 75' to 19', and a **variance** of the required setback from the centerline of an abutting street from 50' to 35' - **Section 930. BULK AND AREA REQUIREMENTS IN THE INDUSTRIAL DISTRICTS**; per plan submitted; finding that the entire area is in transition to industrial uses; finding that the variance of setback is from residential property to the north that is not used for residential purposes; and finding that there are other buildings in

Case No. 1175 (continued)

E/2, E/2, SE/4, SW/4, Section 21, T-17-N, R-13-E,
Tulsa County, Oklahoma.

Case No. 1176

Action Requested:

Variance of the required setback from an abutting R District from 75' to 19', and a variance of the required setback from the centerline of an abutting street from 50' to 35' - **Section 930. BULK AND AREA REQUIREMENTS IN THE INDUSTRIAL DISTRICTS**, located NE/c of South 45th West Avenue and West 56th Street South.

Comments and Questions:

Mr. Gardner advised that the area surrounding the subject property is planned for industrial uses, and the closest residential properties are to the south and east. He pointed out that the proposed building location is near the north and west boundaries of the property.

Presentation:

The applicant, **James Beckert**, 810 South Cincinnati, Suite 400, submitted a plot plan (Exhibit C-1) and stated that he is representing the property owners. He informed that the building will contain a diesel repair operation, which is to be located in the northwest corner of the lot. Mr. Beckert informed that there has been no neighborhood opposition to the project.

Comments and Questions:

Mr. Alberty noted that the setback request is from a residentially zoned property to the north that is not used for residential purposes, and that the proposed building will be set back further than 75' from the dwelling to the east.

Protestants:

None.

Board Action:

On **MOTION** of **ELLER**, the Board voted 3-0-0 (Alberty, Eller, Walker, "aye"; no "nays"; no "abstentions"; Looney, Tyndall, "absent") to **APPROVE** a **Variance** of the required setback from an abutting R District from 75' to 19', and a **variance** of the required setback from the centerline of an abutting street from 50' to 35' - **Section 930. BULK AND AREA REQUIREMENTS IN THE INDUSTRIAL DISTRICTS**; per plan submitted; finding that the entire area is in transition to industrial uses; finding that the variance of setback is from residential property to the north that is not used for residential purposes; and finding that there are other buildings in

Case No. 1500

Action Requested:

Variance of the Lot width in an AG district from 200' to 180' to permit a lot split. **SECTION 330. BULK AND AREA REQUIREMENTS IN THE AGRICULTURE DISTRICTS** - Use Unit 6, located 16121 North 137th East Avenue.

Presentation:

The applicant, **Jim & Carrie Allan**, 16121 North 137th East Avenue, Collinsville, submitted a site plan (Exhibit B-1) and stated the request is for a lot split. He explained that the subject property has 5 acres with an existing home. He indicated that his brother owned the back half of the subject property and he will own the front 2 acres. Mr. Allan stated he plans to build a home on the front 2 acres for his family.

Comments and Questions:

Mr. Alberty stated that the lot width requirement is to have continuity throughout the surrounding area. He commented that the 5 acre tract can accommodate 2 dwelling units.

Board Action:

On **MOTION** of **ALBERTY**, the Board voted 5-0-0 (Alberty, Eller, Looney, Tyndall, Walker, "aye"; no "nays", no "abstentions"; none "absent") to **APPROVE** a Variance of the Lot width in an AG district from 200' to 180' to permit a lot split. **SECTION 330. BULK AND AREA REQUIREMENTS IN THE AGRICULTURE DISTRICTS** - Use Unit 6; per plan submitted; finding that the 5 acres is sufficient to accommodate 2 dwelling units; finding that the approval of this application will not be injurious to the neighborhood or otherwise detrimental to the public welfare, and will be in harmony with the spirit and intent of the Code, on the following described property:

S/2, NW/4, NW/4, SE/4, Sec. 4, T-22-N, R-14-E, I.B.M., Tulsa County, Oklahoma.

Case No. 1501

Action Requested:

Variance to permit 9 dwelling units on one lot of record. **SECTION 208. ONE SINGLE-FAMILY DWELLING PER LOT OF RECORD**; A Variance to permit multi-family dwellings in an AG district. **SECTION 310. PRINCIPAL USES PERMITTED IN THE AGRICULTURE DISTRICTS**; and a Variance of the all-weather surface requirement for required parking. **SECTION 1340.D. DESIGN STANDARDS FOR OFF-STREET PARKING AREAS** - Use Unit 8, located 3939 East 161st Street South.

Presentation:

The applicant, **David R. Owens**, 3939 East 161st, Bixby, submitted a plot plan (Exhibit C-1) and stated he purchased the subject 10 acres 6 years ago. Mr. Owens described the land as being run down. He commented that he cleaned up the subject property and starting building. Mr. Owens stated he extended out a shed 1,000', built an additional home, and a pipe fence surrounding the front 3 acres. He indicated the subject property had an existing trailer home at the time of purchase. Mr. Owens stated that he has torn down old buildings and built new buildings for occupancy. The most recent building is 28' x 74', which is built in the same location as the old barn that was torn down. Mr. Owens commented that the newest building was to be three one bedroom units with a workshop. He stated that while he was working on the newest addition, the building inspector stopped his progress and informed him he needed a building permit.

05:20:97:204(2)

Comments and Questions:

Mr. Alberty asked the applicant if he was aware that he needed a building permit? He answered affirmatively.

Mr. Alberty asked the applicant if he was aware of the zoning requirements? He answered negatively.

Mr. Walker asked the applicant if he knew he had to state a hardship for the variance requested? Mr. Owens answered affirmatively.

Protestants:

Mr. Walker informed the applicant that the Board received a letter from Martha Roberts in protest of this application (Exhibit C-3).

Gary Sulander, 5401 South Sheridan, Suite 404, Tulsa, stated he owns 315 acres north of the subject property, which wraps around the corner to 161st, Harvard & Sheridan. He indicated he is representing White Hall Golf Course, which is located at 151st & Yale. Mr. Sulander expressed concerns that Mr. Owens development will hinder future quality development in the surrounding area. He stated that the applicant's development does not fall in line with good planning.

Gene Edwards, Bixby City Planner, submitted a letter (Exhibit C-2) and stated that the City of Bixby will be annexing the subject site into the City in the near future. According to the Tulsa County Zoning Code, Chapter 3, Section 310, Use Units Permitted in the AG District, Use Unit 8 allows a nursing home, community group home, convent, monastery and novitiate (new or innovative) as the only uses permitted by Special Exception. Mr. Edwards stated that this application does not fall into any of the above mentioned categories and the application should be denied. The subject site is located adjacent to the City of Bixby's city limits. It is conceivable that sometime in the near future this site may seek to be annexed into the City of Bixby. The Bixby Comprehensive Plan encompasses this area and recommends low intensity use, such as, agricultural, vacant, open land and/or rural residences. The Planning staff has no objections to the applicant's use of this site, but recommends to the Board not to grant a variance, which will not comply with the minimum standards applied by the Code. Mr. Edwards informed the Board that Mr. Owens was asked several times to quit developing on the subject site, but continued to build.

The following protestants expressed the same concerns as the above speakers:

Jack Brown, representing Martha Roberts, 15 East 5th Street, Tulsa; **Mr. & Mrs. Fox**, 4204 East 161st; **Mr. & Mrs. Dew**, 161st & Yale; **Carol Dew**, no address given.

Applicant's Rebuttal:

Mr. Owens stated that his goal is to help people. He explained that he did know that he needed a building permit, but failed to apply for one. Mr. Owens reiterated that he tore down old buildings and improved the subject site. Mr. Owens stated that he is a retired Superintendent of Schools and builds houses to supplement his income. He indicated that he resides on the subject site and there are 7 adults presently on the subject property who are renters.

Comments and Questions:

Mr. Walker informed the applicant that multi-family dwelling units are not allowed in the AG district.

Mr. Alberty stated that there is no hardship for this application.

Case No. 1501 (continued)

Board Action:

On **MOTION** of **ALBERTY**, the Board voted 5-0-0 (Alberty, Eller, Looney, Tyndall, Walker, "aye"; no "nays", no "abstentions"; none "absent") to **DENY** a Variance to permit 9 dwelling on one lot of record. **SECTION 208. ONE SINGLE-FAMILY DWELLING PER LOT OF RECORD**; A Variance to permit multi-family dwellings in an AG district. **SECTION 310. PRINCIPAL USES PERMITTED IN THE AGRICULTURE DISTRICTS**; and a Variance of the all-weather surface requirement for required parking. **SECTION 1340.D. DESIGN STANDARDS FOR OFF-STREET PARKING AREAS** - Use Unit 8, finding that the applicant failed to present a hardship unique to the property that would warrant the granting of the variance request; on the following described property:

E/2, E/2, SE/4, SW/4, Sec. 21, T-17-N, R-13-E, Tulsa County, Oklahoma.

Case No. 1502

Action Requested:

Special Exception to permit a 150' cellular telephone antenna monopole tower in an AG district.

Presentation:

The applicant, **John Brightmire**, requested a continuance due to the address being incorrect.

Protestants: None.

Board Action:

On **MOTION** of **ALBERTY**, the Board voted 5-0-0 (Alberty, Eller, Looney, Tyndall, Walker, "aye"; no "nays", no "abstentions"; none "absent") to **CONTINUE** Case No. 1502 to June 17, 1997, at 1:30 p.m. in order to re-advertise with corrected address.

Case No. 1503

Action Requested:

Variance of required frontage from 30' to 0' to permit placement of manufactured home. **SECTION 207. STREET FRONTAGE REQUIRED** - Use Unit 9, located N & E of South 260th West Avenue and South 54th Street West.

Presentation:

The applicant, **Veona Douglas-Davis**, 22622 West 51st Street, Sand Springs, submitted a plot plan (Exhibit D-1) legal description (Exhibit D-2), and an application for a building permit (Exhibit D-3). Ms. Davis stated she purchased 10 acres, which has an ingress/egress on the subject site but it does not front a maintained County road. She indicated that her neighbor does not have a problem with this application. Ms. Davis stated that her neighbors have given her permission to allow the trailer to be brought across their property in order to install the trailer on her property. She informed the Board that the utilities are already in place from two (2) previous trailers and one home that was located on the subject site. She explained that one trailer has been removed and the other trailer and home was destroyed by fire. There is a septic system, a water well and electricity in place.

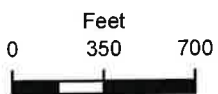
05:20:97:204(4)



E 161st ST S

S HARVARD AVE

S 43 E AVE



Subject Tract

CBOA-2932

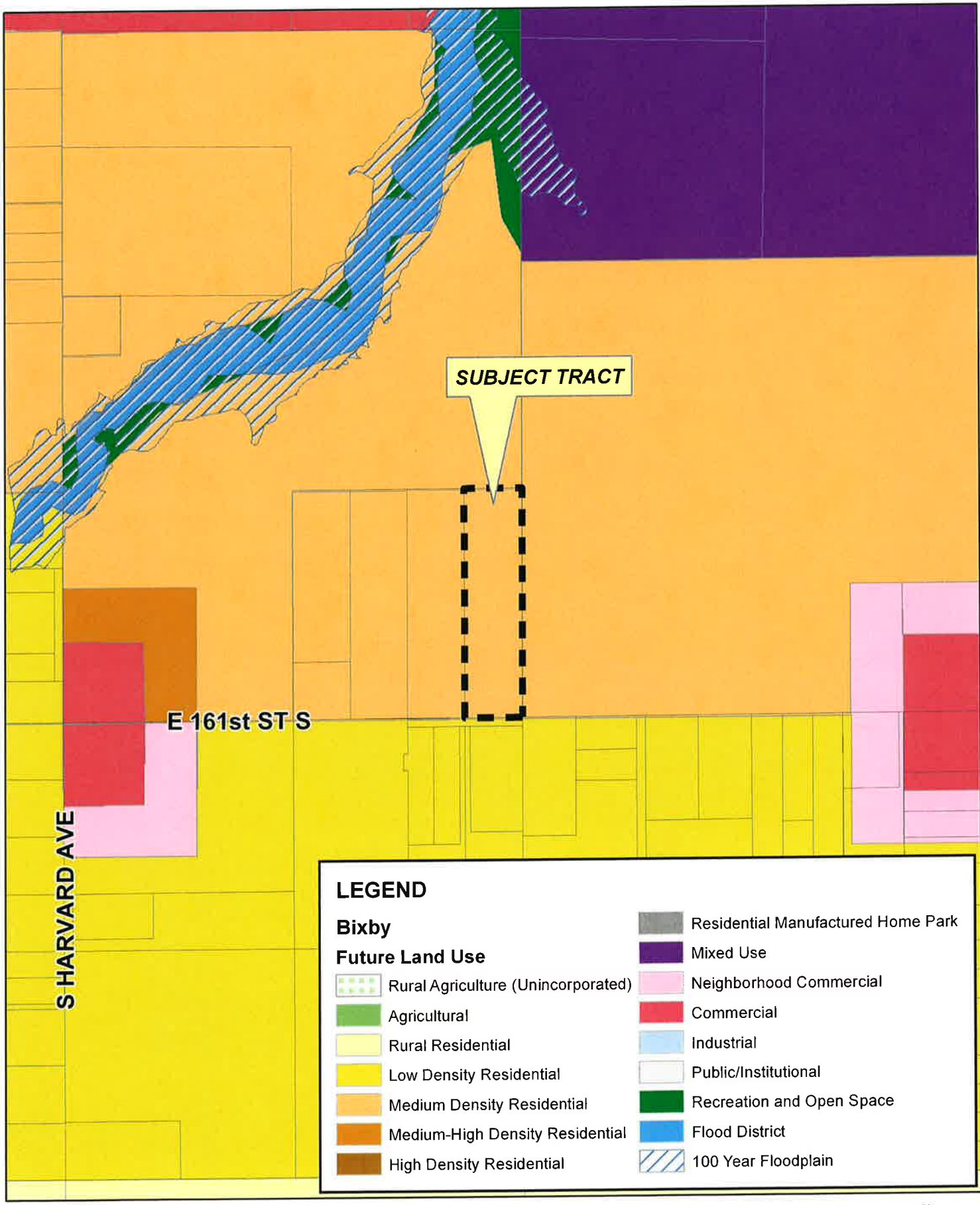
17-13 21

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



CBOA-2932 3.10



CBOA-2932

17-13 21



CBOA-2932 3.11

Jones, Robi

From: Griffin, Christopher <ChGriffin@geico.com>
Sent: Wednesday, November 3, 2021 12:33 PM
To: Jones, Robi
Subject: receipt 233937
Attachments: rv view 4.jpg; apartment view 3.jpg; trash location.jpg; water hookup.jpg; apartment view 2.jpg; concession.jpg; rv park entrance 2.jpg; electric, sewer and water hookup.jpg; rv entrance.jpg; rv view 2.jpg; rv view.jpg

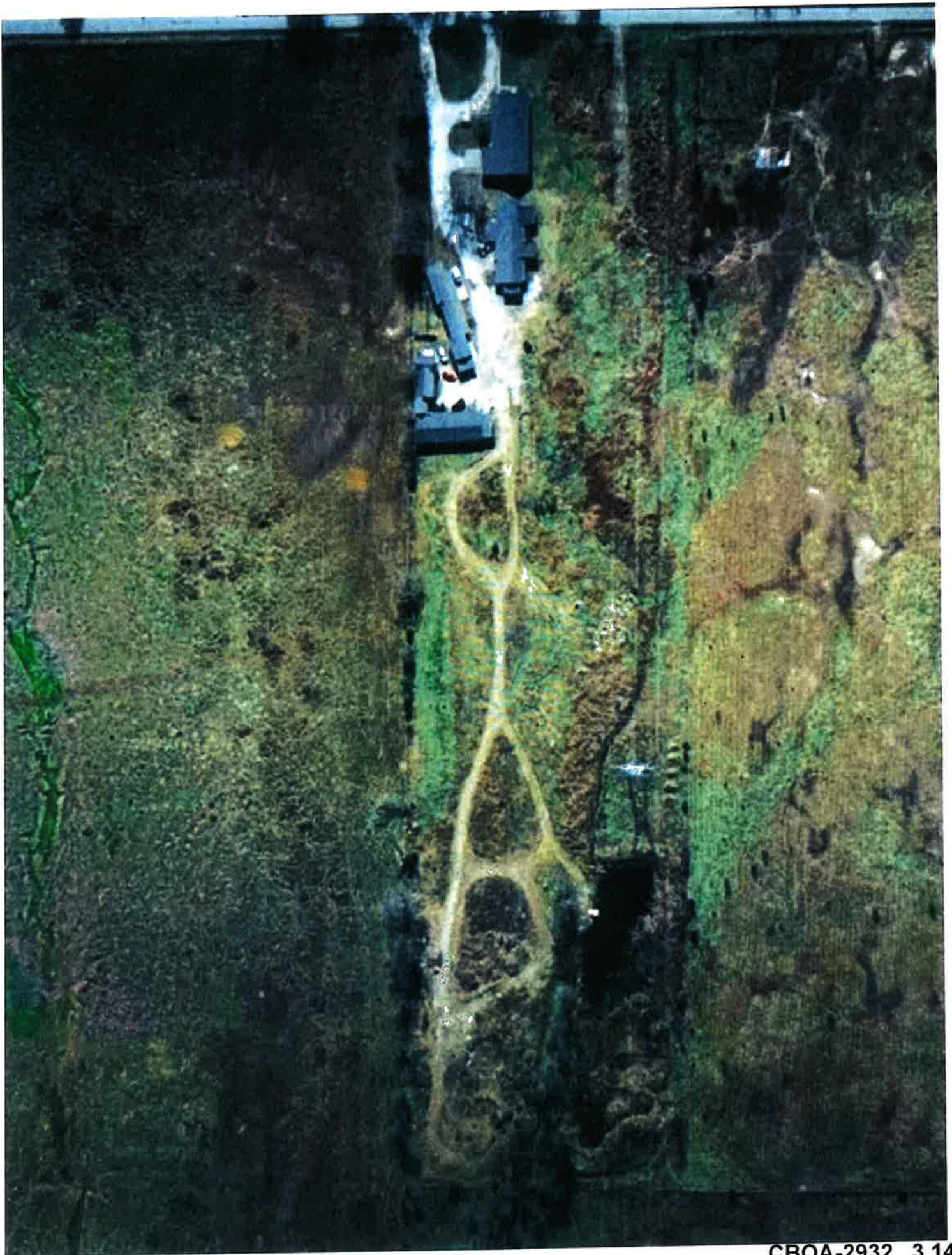
Mrs. Jones,

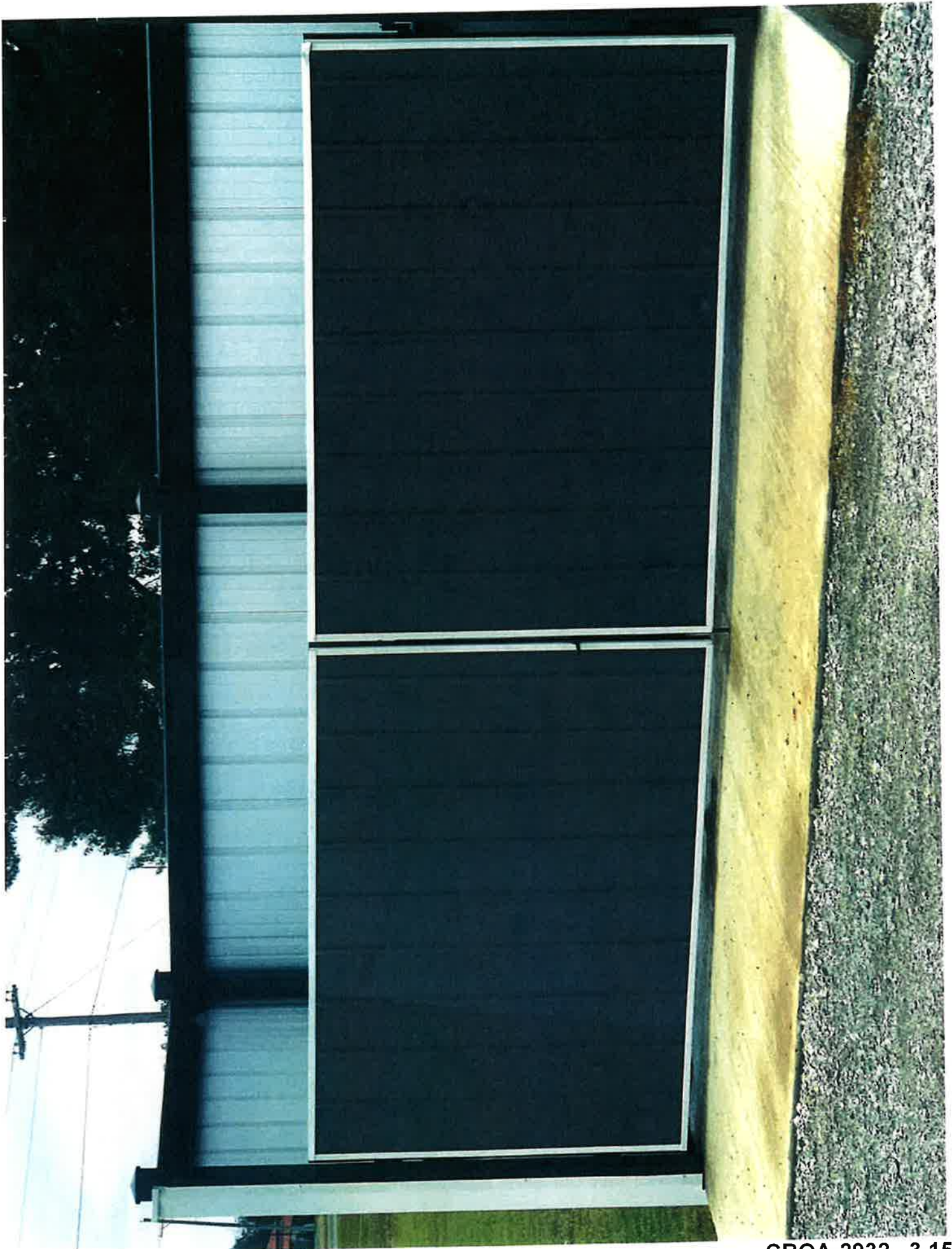
I am planning on bringing a packet for review by the board, but would like to know how many to provide. I am also providing photos of existing apartments that are to be removed as time goes by and the camp site is successful as well as what we are intending to produce from another camp site that is operating at this time. Please let me know if there are any questions. See you on the 16th.

Chris Griffin
918 261 0009

=====
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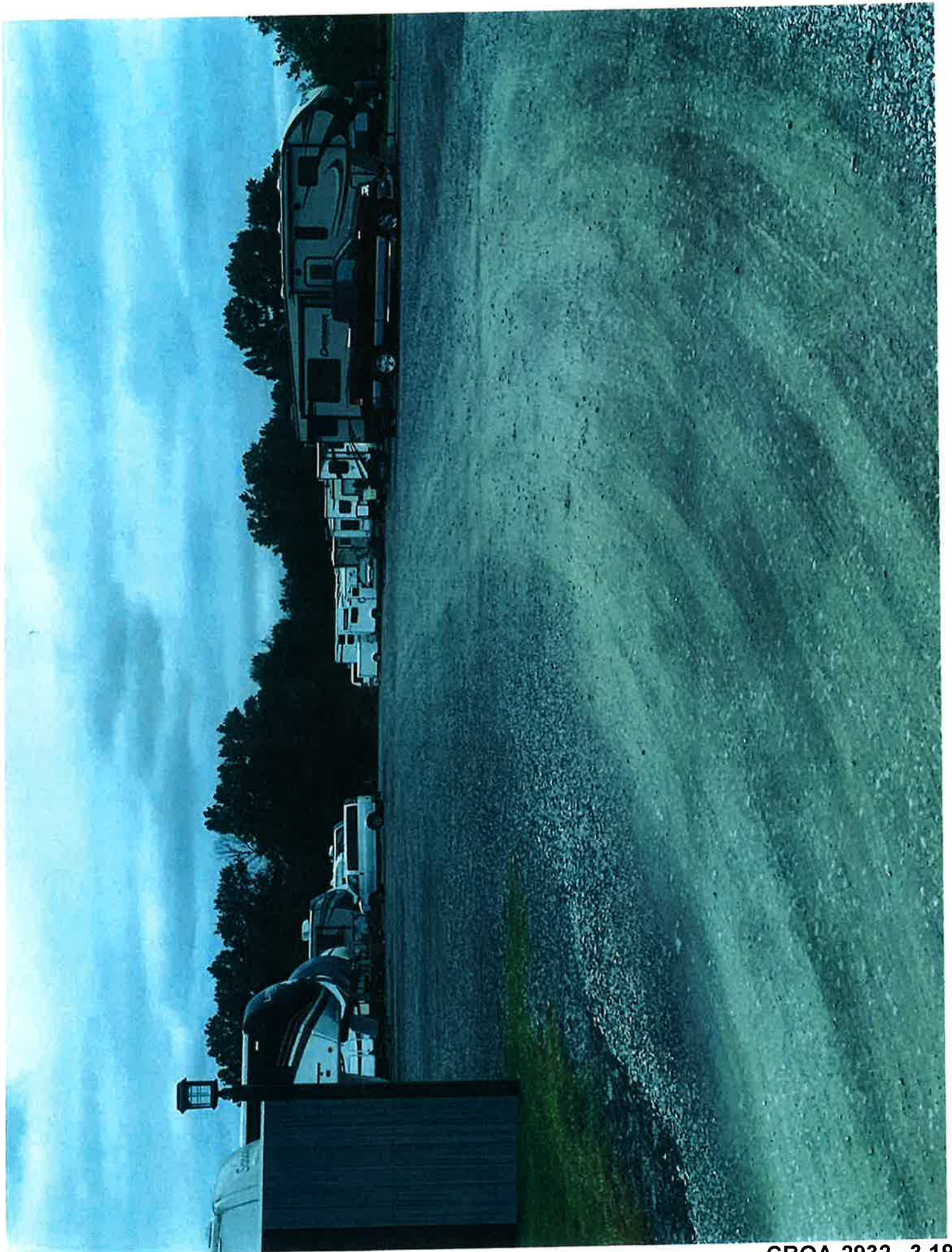






















Looking north at existing apartments on subject property from E. 161st St. S.

Photo: Google Maps 2019



Looking northeast from E. 161st St. S. toward location of the proposed Overnight Campground site

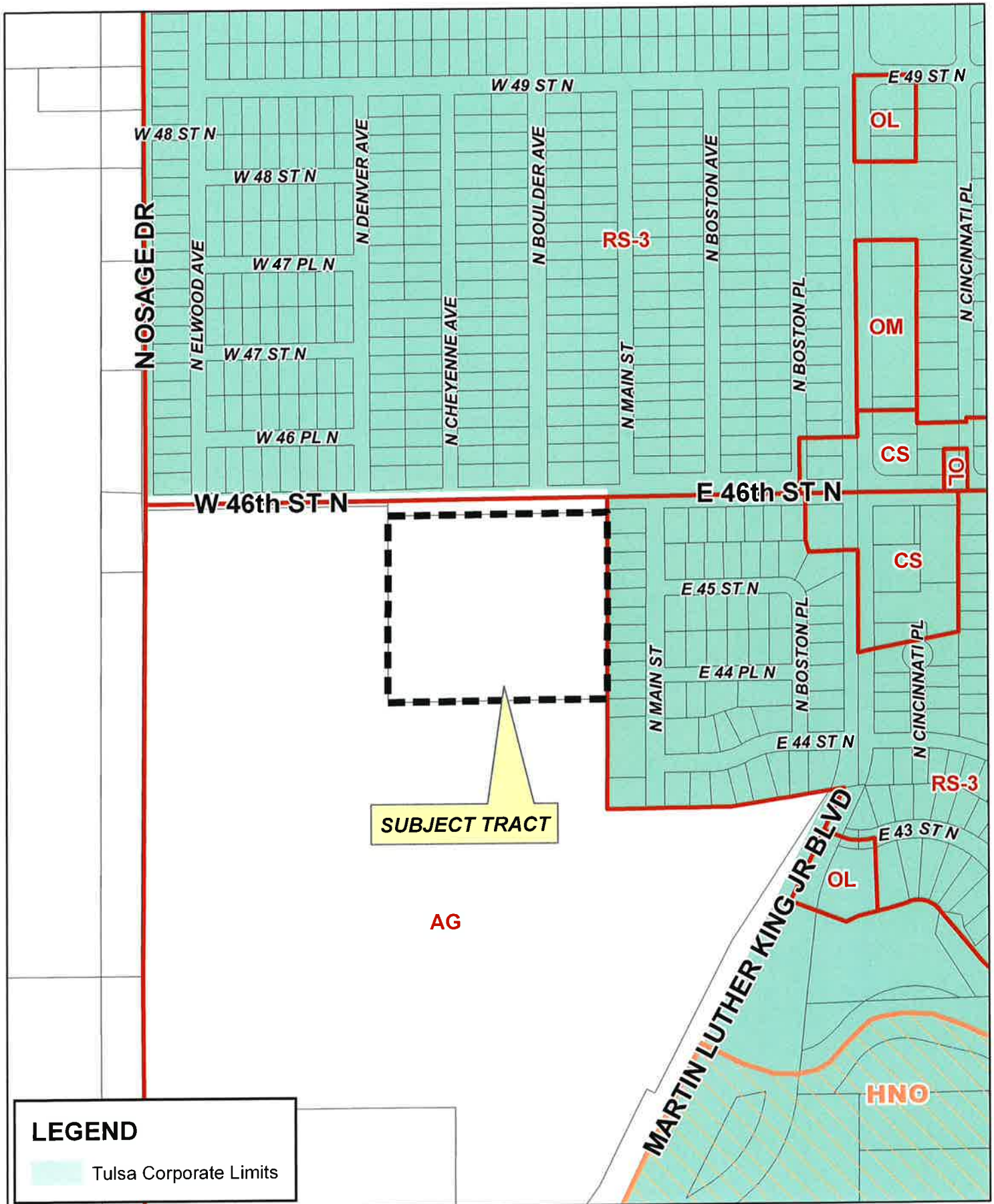
Photo: Google Maps 2019



Looking east on East 161st St. S. -- subject property is on the left (north)

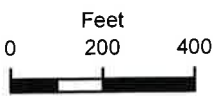
Photo: Google Maps 2019

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LEGEND

Tulsa Corporate Limits



CBOA-2934

20-12 14



**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 0214

CASE NUMBER: CBOA-2934

CZM: 21

CASE REPORT PREPARED BY: Robi Jones

HEARING DATE: 11/16/2021 1:30 PM

APPLICANT: Mark Capron

ACTION REQUESTED: Modification to a previously approved site plan (CBOA-1690) to add an additional building and splash pad (Section 1205).

LOCATION: 200 W 46 ST N

ZONED: AG

AREA: Turley

PRESENT USE: Community Center

TRACT SIZE: 10.08 acres

LEGAL DESCRIPTION: LT 1 BLK 1, TULSA DREAM CENTER

RELEVANT PREVIOUS ACTIONS:

Subject Property:

CBOA-1690 November 1999: The Board **approved** a *Special Exception* to allow a (Use Unit 5) community center/church in the AG district including children's nursery; chapel; counseling center; community center (recreation space, food & clothing distribution, and nurse station), on property located at 46th and North Cincinnati.

ANALYSIS OF SURROUNDING AREA: The subject tract abuts AG zoning to the west and south. It abuts RS-3 zoning the north and east. The surrounding uses appear to be vacant or residential.

STAFF COMMENTS:

The applicant is requesting a Modification to a previously approved site plan (CBOA-1690) to add an additional building and splash pad (Section 1205).

In 1999, the Board approved a request for a *Special Exception to allow a (Use Unit 5) community center/church in the AG district including children's nursery; chapel; counseling center; community center (recreation space, food & clothing distribution, and nurse station) subject to the following condition:*

- *Per site plan as presented*

The applicant is requesting the Board to modify the original approval to include an additional building and splash pad.

If inclined to approve the Board may consider any condition it deems necessary and reasonably related to the request to ensure that the proposed use is compatible with the surrounding area.

Sample Motion for Modification:

**“Move to _____ (approve/deny) a Modification to a previously approved site plan (CBOA-1690) to add an additional building and splash pad (Section 1205).
Subject to the following conditions (if any): _____.”**

Finding the proposed modification is compatible with and non-injurious to the surrounding area and meets the previously granted Board relief or meets the zoning requirements, per code.”

Action Requested:

Special Exception to allow a (Use Unit 5) community center/church in the AG district including children's nursery; chapel; counseling center; community center (recreation space, food & clothing distribution & nurse station), located at 46th & North Cincinnati.

Staff Comments:

Mr. Bruce stated that the subject property is eleven acres in size (660' x 720') and is a portion of a larger ownership, which is located west of the northwest corner of North Cincinnati Avenue and 46th Street North. The subject property is bounded on the east by residential housing in the RS-3 district and on the south and west by AG zoning. He indicated that 46th Street North bounds the parcel on the north with residential housing in the RS-3 district beyond. The aerial photograph indicates the parcel to be vacant.

Mr. Bruce stated that the Information submitted by the applicant indicates that the proposed use is a community outreach in affiliation with Victory Christian Center. The proposed 48,000 (400' x 120') square foot structure would include space for children's nursery, chapel, counseling center, recreation (basketball, volleyball, etc.), food and clothing distribution and a nurse's station. The area north of the structure between it and 46th Street will include outdoor recreation space. Parking is proposed on both the north and south sides of the structure.

Mr. Bruce commented that the applicant has also indicated that the remainder of the ownership will be donated to Victory Christian Center in the event that the eleven-acre parcel is developed with the proposed uses. The staff's understanding is that there is no intent to split the property at this time.

Presentation:

Bruce Edwards, 8411 South Toledo, Tulsa, Oklahoma, stated that he is representing Victory Christian Center, Inc. Stated that Victory Christian Center would like to have a Care Center on the north side of Tulsa. He explained that the church would help with food, clothing, counseling, medical and legal assistance for the poor and needed families. He indicated that the activities would be during the daytime and some inside activities in the evening hours.

Mr. Edwards explained that the current site of Victory Christian Center is approximately fifteen miles from the subject location and it is difficult for the individuals to make the trip to the current center. He stated that Victor Christian Center could meet the needs of the people on the north side better if the proposal is approved.

Mr. Edwards stated that the owners of the property approached the church and offered the subject property for the church's use.

Comments and Questions:

Mr. Looney asked the applicant if the church will be expanding in the near future. Mr. Edwards stated that the expansion would depend on needs. Mr. Edwards proposed that a building measuring 100' x 120' would be built first and expand as if the need arises. Mr. Edwards indicated that part of the proposed building will be two-story for offices and distribution center.

Mr. Looney asked Mr. Edwards if the proposed building would have living quarters. In response, Mr. Edwards stated that at this time there are no plans for living quarters. Mr. Edwards explained that the center would like to be able to provide a refuge for anyone experiencing violence at home, but only a temporary shelter.

Mr. Walker asked the applicant if he plans to install a screening fence abutting the residential area. In response, Mr. Edwards stated that there will be a screening fence on the east side to provide sufficient separation. Mr. Edwards indicated that there will be a line of trees planted as well as the fence to add to the separation from the residential area.

Mr. Walker asked the applicant if there will be lighting for the outdoor recreation use area. Mr. Edwards stated that at this time there are no plans to install lighting and the outdoor recreation area would be a daytime activity.

Mr. Looney asked the applicant if there will be lighting on the parking area. Mr. Edwards answered affirmatively. Mr. Edwards indicated that he would be willing to cooperate with the neighbors regarding the lighting so that it will not be intrusive. Mr. Edwards stated that the parking lot will be a good distance from the residential area.

Mr. Walker asked Mr. Edwards what type of traffic volume he expects for the center. In response, Mr. Edwards stated that he does not perceive a great deal of traffic because the majority of the people served by the center do not own vehicles. Mr. Edwards commented that the traffic would be mostly the employees, delivery vehicles, etc.

Mr. Alberty stated that he is excited to see this application and he commended the Victory Christian Center. He concluded that he is in support of this application.

Case No. 1690 (continued)

INTERESTED PARTIES COMMENTS:

Martha Cobb, stated that she owns the subject property with her sister. She explained that she wanted to do something to help the north side of Tulsa. She commented that the Victory Christian Center does good work and the family decided to donate the subject property to the center.

Billie Joe Dougherty, Pastor of Christian Victory Center, Inc., stated that the center would like to build out the entire plan quickly. He indicated that the residents in the subject area are in support of the proposal.

Board Action:

On **MOTION** of **ALBERTY**, the Board voted 4-0-0 (Alberty, Dillard, Looney, Walker aye"; no "nays", no "abstentions"; Tyndall "absent") to **APPROVE** a Special Exception to allow a (Use Unit 5) community center/church in the AG district including children's nursery; chapel; counseling center; community center (recreation space, food & clothing distribution & nurse station), per site plan as presented, finding that the special exception will be in harmony with the spirit and intent of the Code, and will not be injurious to the neighborhood or otherwise detrimental to the public welfare, on the following described property:

A part of NE/4 of Section 14, T-20-N, R-12-E of the IBM, Tulsa County, Oklahoma, more particularly described as follows, to-wit: Beginning at a point in the N boundary line of said Section 14, 810.00' W of the NE/c thereof, and 40.00' N of the NW/c of the Valley View Acres Addition, an addition in the City of Tulsa, thence S 0°12'00" W along the W boundary line of said Valley View Acres Addition a distance of 660.00'; thence due W a distance of 720.00'; thence N 0°12'00" E a distance of 660.00' to the N boundary line of said NE/4; thence due E along the N boundary of said NE/4 a distance of 720.00' to the point of beginning.

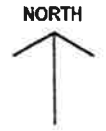
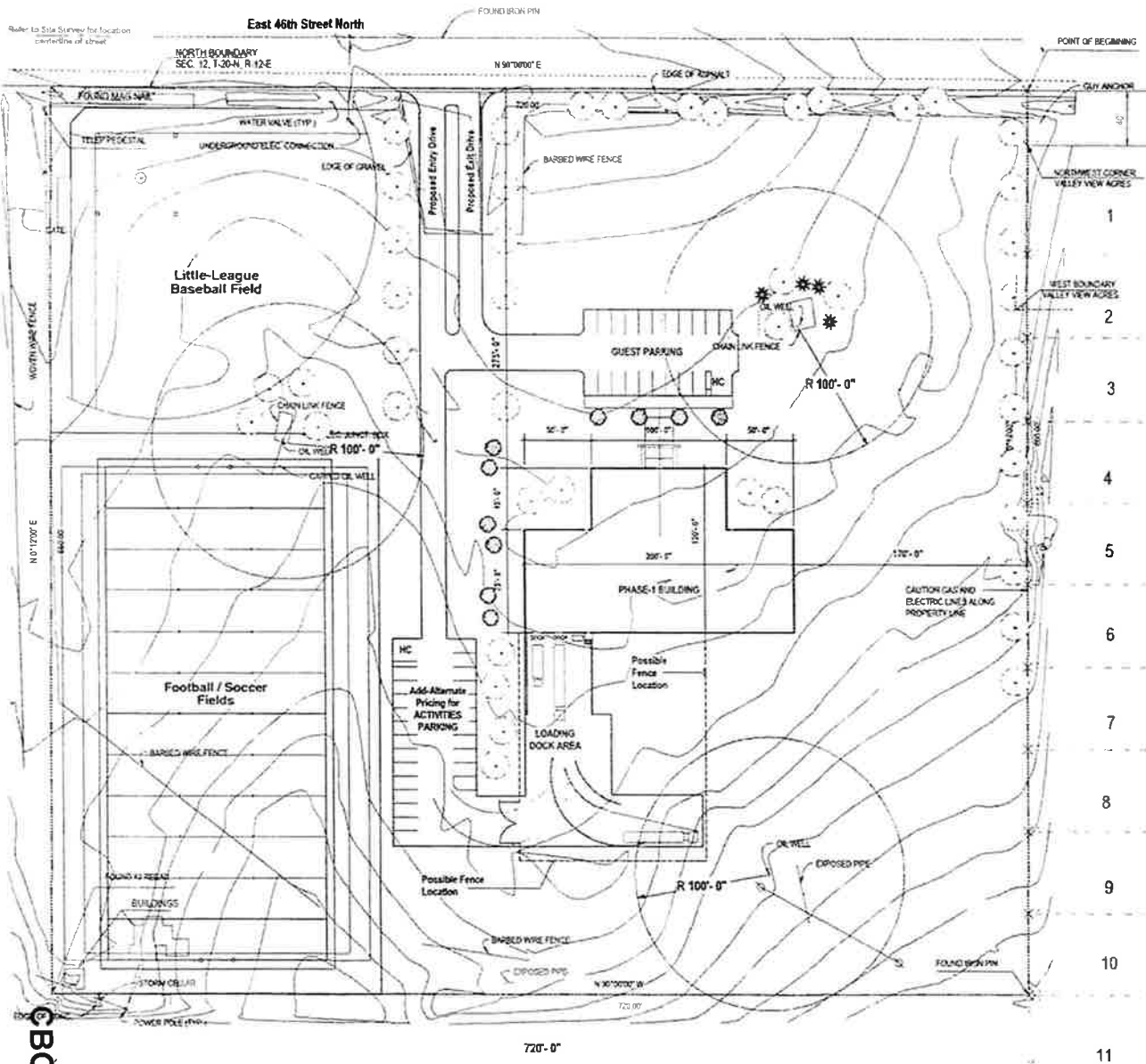
* * * * *

Case No. 1691

Action Requested:

Special Exception to allow a mini-storage in a CS district and a Variance to waive the all-weather surface until warm weather, located west of northwest corner West 41st Street & South 137th West Avenue.

11:16:99:234(11)



SCALE: 1"=40'-0"

Tulsa Dream Center Victory Christian Center

Tulsa, Oklahoma

PROJECT NOTES:

1. BUILDING AREA: Church / Community Center Use Dist 5
 - A. Offices/Classrooms 4,500 s.f.
 - B. Gymnasium 6,000 s.f.
 - C. Storage (Clothes, Food) 6,000 s.f.
 - D. Kitchen, Serving area 1,500 s.f.
 - 13,500 s.f.

(* Note: Areas shown above are only approximates at this time and may be adjusted as the Interior Plus Layout is developed!)

Total Required Spaces, based on 500 s.f. per car 39 T-cars
 Parking Proposed Phase-1:

Guest Parking:	Standard Spaces = 29 S.C.
	Handicap Accessible Spaces = 1 H.C.
	Subtotal = 22
Activity / Staff Parking:	Standard Spaces = 23 S.C.
	Handicap Accessible Spaces = 1 H.C.
	Subtotal = 24
TOTAL PARKING PROPOSED - Phase - 1:	
	Standard Spaces = 43 S.C.
	Handicap Accessible Spaces = 2 H.C.
	Total Spaces Proposed = 45

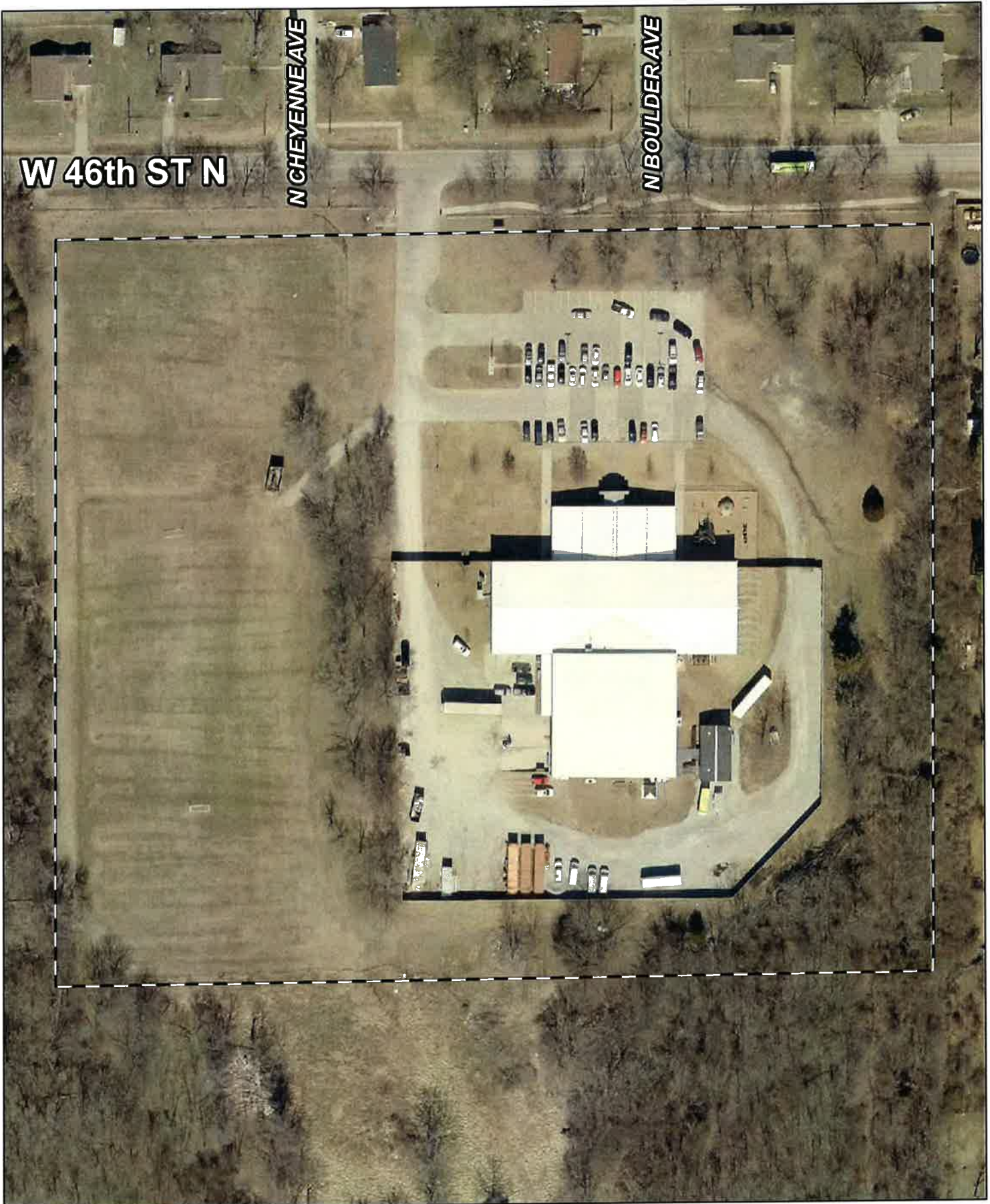
<p>Dickson Gunn & Associates ARCHITECTS 3202 E. 21st - Tulsa, OK 74114 Phone / Fax (918) 742-2256</p>	<p>ARCHITECT'S SEAL</p>
<p>TULSA DREAM CENTER 46th Street North & Cincinnati Tulsa, Oklahoma</p>	<p>Drawings / Date / Notes</p>
<p>Victory Christian Center 7700 S. Lewis Ave - Tulsa, OK</p>	<p>02/04/00 Rev. 2 Parking - 8/12/00 Rev. 1 Date of issue 27 JAN 2000</p>
<p>Drawing Title: Preliminary Site Plan</p>	<p>Drawing Number: SP-1</p>

BOA-2934 4.7

W 46th ST N

N CHEYENNE AVE

N BOULDER AVE



Subject Tract

CBOA-2934

20-12 14

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



CBOA-2934 4.8



 Subject Tract

CBOA-2934

20-12 14

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021





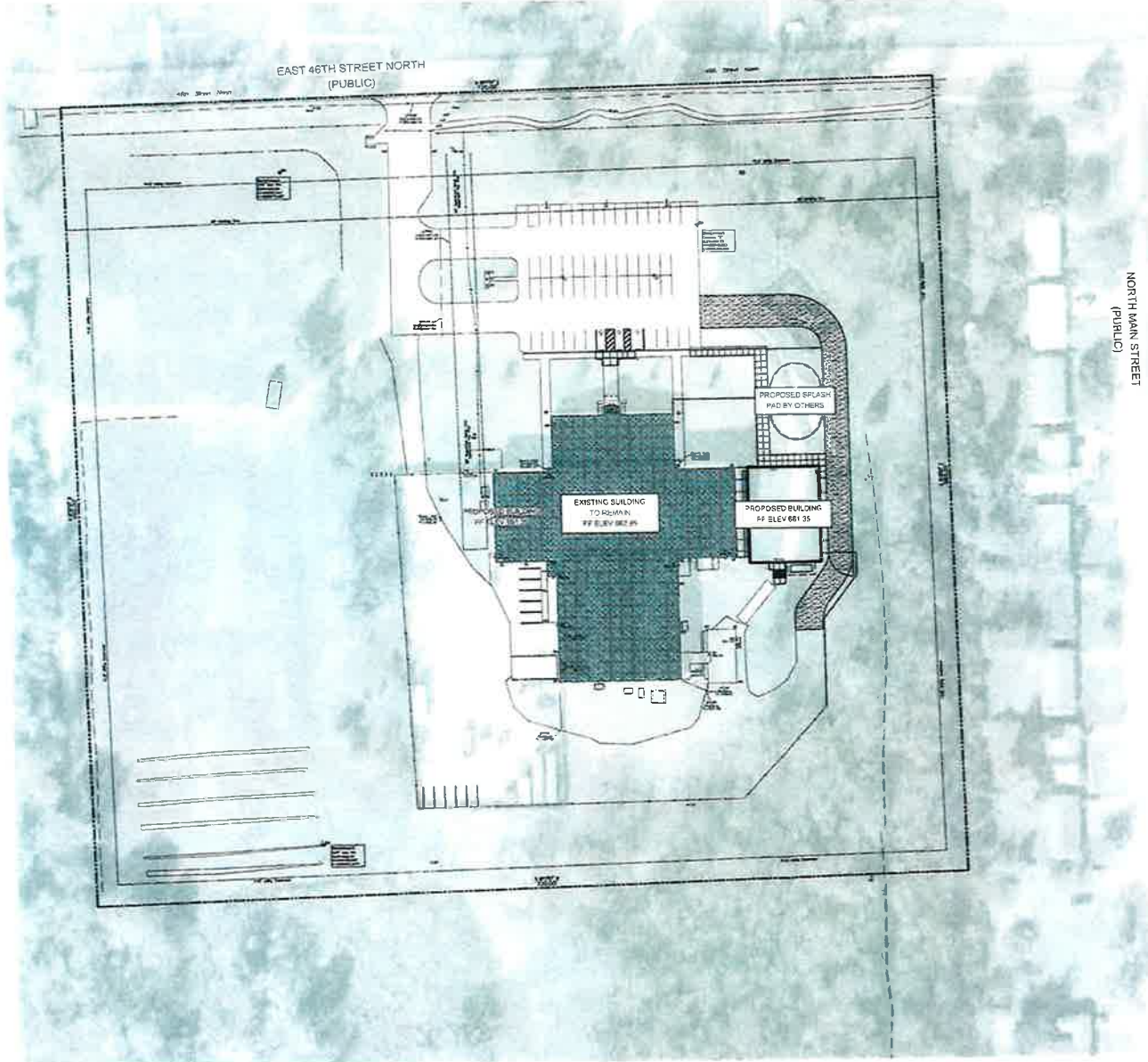
Looking southeast from W. 46th St. N. into the entrance of subject property

Photo: Google Maps 2016



Aerial view looking south of W. 46th St. N. at subject property

Photo: Google Maps

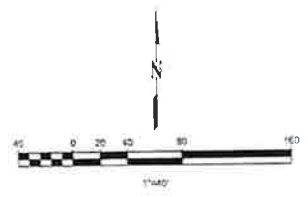


ZONING SUMMARY	
EXISTING ZONING	AC
EXISTING USE	COMMUNITY CENTER
SUBDIVISION	TULSA DREAM CENTER

LEGAL DESCRIPTION
 LOT ONE (1), BLOCK ONE (1) TULSA DREAM CENTER AN ADDITION TO TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.

PARKING SUMMARY	
STANDARD ACCESSIBLE	2
VAN ACCESSIBLE	1
STANDARD PARKING	65
TOTAL PARKING	68

BENCHMARK TABLE		
BENCHMARK	BENCHMARK	BENCHMARK
DB IRON PIN	CHISELED 'X'	3" IRON PIN
ELEV: 682.05	ELEV: 682.22	ELEV: 686.18
N= 40274 MAG	N= 40248 833	N= 40773 MAG
E= 258915 517	E= 252013 633	E= 252001 042



CAUTION
 NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



wdesign
 ARCHITECTURE & INTERIORS
 815 E. 3rd Street, Suite C
 Tulsa, OK 74120
 Office: 918.764.6516
 Fax: 918.794.6502
 www.wdesignsolutions.com



TULSA DREAM CENTER SWIM AND SPLASH PAD

PROJECT #21169

**200 W 46TH STREET
 TULSA, OK
 74106**



ISSUE DATE

08.24.2021

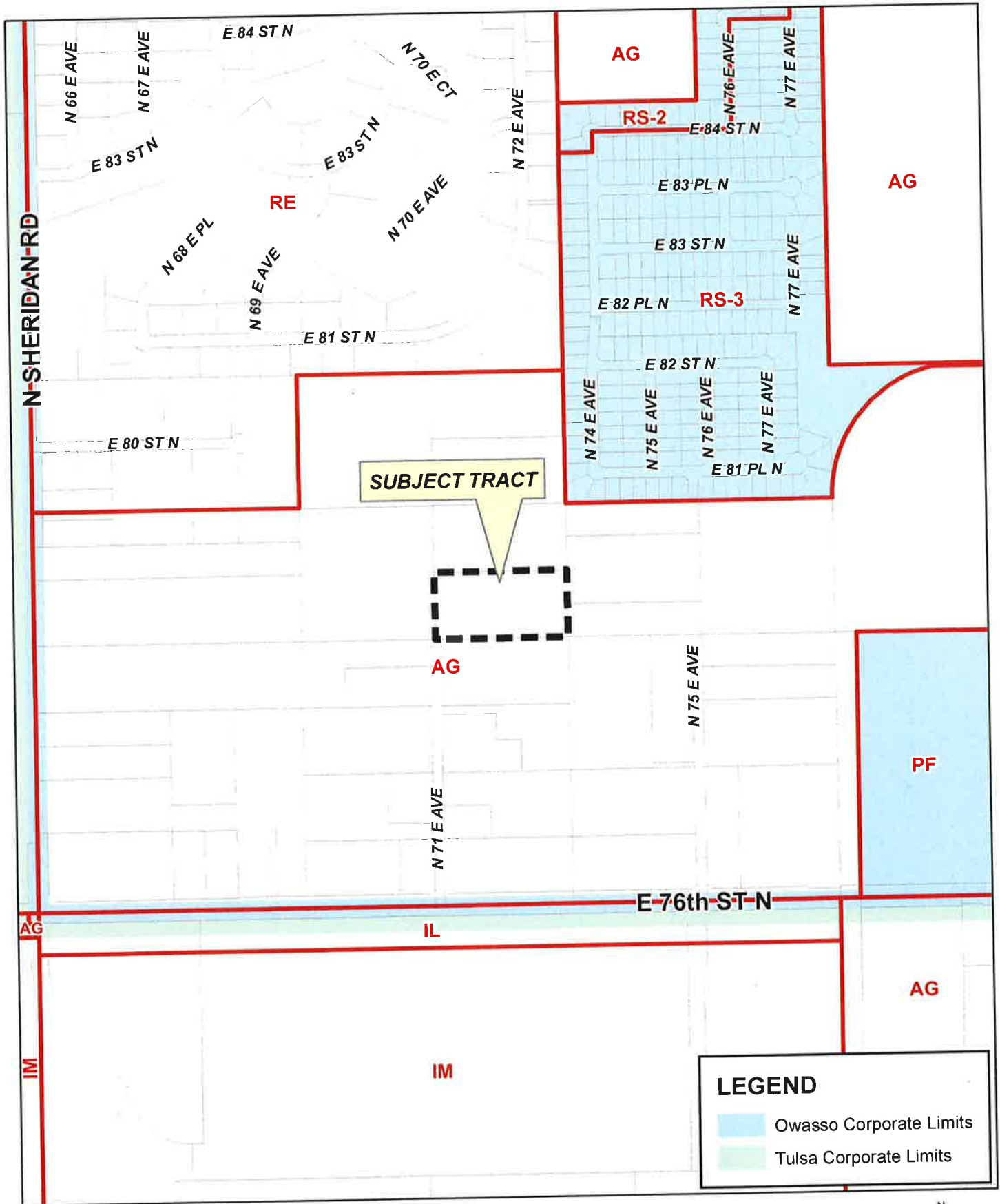
SHEET NAME

SITE PLAN

SHEET #

C100

As per: 08/24/2021 10:50 AM (10:50 AM) 08/24/2021 10:50 AM (10:50 AM) 08/24/2021 10:50 AM (10:50 AM)



CBOA-2935

21-13 26



**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 1326

CZM: 17

CASE NUMBER: CBOA-2935

CASE REPORT PREPARED BY: Robi Jones

HEARING DATE: 11/16/2021 1:30 PM

APPLICANT: CRB Companies LLC

ACTION REQUESTED: Special Exception to permit a 145 ft. Communications Tower (Use Unit 4 - Public Protection and Utility Facilities) in an AG district (Section 310 and Section 1204.3); and a Special Exception to reduce the required tower setback (110% of the tower height) from the adjoining AG zoned lots (Section 1204.3)

LOCATION: 7845 N 71 AV E

ZONED: AG

FENCELINE: Owasso

PRESENT USE: Agricultural

TRACT SIZE: 5 acres

LEGAL DESCRIPTION: S/2 SE NE SW SEC 26 21 13 5ACS,

RELEVANT PREVIOUS ACTIONS: None relevant

ANALYSIS OF SURROUNDING AREA: The subject tract is surrounded by AG zoning with a combination of agricultural and residential uses.

STAFF COMMENTS:

The applicant is before the Board requesting a Special Exception to permit a 145 ft. Communications Tower (Use Unit 4 - Public Protection and Utility Facilities) in an AG district (Section 310 and Section 1204.3); and a Special Exception to reduce the required tower setback (110% of the tower height) from the adjoining AG zoned lots (Section 1204.3)

Communications towers are classified under Use Unit 4, Public Protection and Utility Facilities, and are permitted in the AG district by Special Exception. A *Special Exception* is required as the proposed cell tower is a use which is not permitted by right in the AG district because of potential adverse affect, but if controlled in the particular instance as to its relationship to the area, may be permitted.

The applicant has included a site plan. The proposed monopole tower has a height of 145 feet. Zoning Code requires towers to be set back a distance equal to at least on hundred ten percent (110%) of the height of the tower from any adjoining lot line of a residential, office or agricultural zoned lot. The distance from the proposed cell tower to the adjoining property to the north is 155 feet. The requirement would be 159.5 feet so the applicant is requesting a Special Exception to reduce the required tower setback (110% of the tower height) from the adjoining AG zoned district. (Section 1204.C.7) The distances to the east, west, and south meet the setback requirements.

Section 1204.3.C & E of the Code provides general standards for locating communication towers in any district. Some of the more notable requirements include:

1204.3.C.2.a: Towers and antennas shall be designed to blend into the surrounding environment through the use of color, galvanizing, or camouflaging architectural treatment, except in instances where the color is dictated by federal or state authorities such as the FAA.

1204.3.C.4.: Towers shall not be illuminated by artificial means and shall not display strobe lights unless such lighting is specifically required by the FAA or other federal or state authority for a particular tower. When incorporated into the approved design of the tower, light fixtures used to illuminate ball fields, parking lots, or similar areas may be attached to the tower.

1204.3.C.6: All utility buildings and structures accessory to a tower shall meet all the requirements of the underlying zoning district. Exterior ground mounted equipment occupying more than 50 square feet, if visible from ground level, shall be screened from view from property within 150 ft. used for residential purposes.

1204.3.C.7.a: Towers must be set back a distance equal to at least one hundred ten percent (110%) of the height of the tower from any adjoining lot line of a residential, office, or agricultural zoned lot, excluding expressway rights of way zoned residential.

1204.3.C.8: Towers shall be enclosed by security fencing not less than six (6) feet in height or shall be equipped with an appropriate anti-climbing device; provided however the Board may modify or waive the requirements by special exception

Additionally, Section 1204.3.E.1 provides the following:

Factors to be considered in granting a special exception. In addition to any other requirement of this section, the following factors shall be considered in the determination to grant or deny a special exception for an antenna or tower:

- a. Height of the proposed tower*
- b. Proximity of the tower to residential structures, residential district boundaries and existing towers*
- c. Nature of uses on adjacent and nearby properties*
- d. Surrounding topography*
- e. Surrounding tree coverage and foliage*
- f. Design of the tower, with particular reference to design characteristics that have the effect of reducing or eliminating visual obtrusiveness*
- g. The total number and size of antennas proposed and the ability of the proposed tower to accommodate collocation*
- h. Architectural design of utility buildings and accessory structures to blend with the surrounding environment*
- i. Proposed ingress and egress*
- j. The need of the applicant for a communications tower within the immediate geographic area to provide an acceptable level of communications service to the area*
- k. The size of the tract and the most likely future development as indicated by the Comprehensive Plan, planned infrastructure, topography and other physical facts.*
- l. Landscaping*

1204.3.E.2 - *Collocation of facilities should be encouraged wherever practical by allowing reasonable extra height or tower diameter necessary to support multiple antennas.*

1204.3.E.3 - *The findings of the Board of Adjustment as to each of these factors shall be made on the record and contained in the written minutes of the meeting.*

The Owasso Comprehensive Plan as well as the Tulsa County Comprehensive Land Use Plan designate the future land use plan as Commercial. Commercial is defined as follows:

The Commercial Land Use District represents areas of retail trade and services. Typically, these areas are located around nodes of arterial street intersections or in some cases, at intersections of collectors and arterials. Commercial Districts can also be found in corridors that have an established commercial use pattern, such as the Smith Farm area, or highly visible areas, such as along US-169, SH-20, and 116th St. N. west of US-169. The Commercial District includes uses that range from small neighborhood convenience shopping areas, single free-standing buildings, big box retailers, restaurants, automotive services centers, and other similar retail uses.

Access is a key factor in the location of Commercial Districts. A site with poor access or that is difficult to get to is prone to fail; whereas a site with good and safe access will stand a better chance of survival. In general, the development of long commercial strips around the perimeters of square miles should be avoided as can present problems with access control. In all cases of commercial development, access management should be carefully controlled with design treatments such as mutual or shared access drives and cross connections easements or agreements.

If inclined to approve, the Board may consider any condition it deems necessary and reasonably related to the request to ensure the proposed communications tower will be non-injurious to the surrounding area.

Sample Motion:

“Move to _____ (approve/deny) a Special Exception to permit a 145 ft. Communications Tower (Use Unit 4 - Public Protection and Utility Facilities) in an AG district (Section 310 and Section 1204.3); and a Special Exception to reduce the required tower setback (110% of the tower height) from the adjoining AG zoned lots (Section 1204.3)

Read the following statement so it can be on record and recorded in the minutes of the meeting.

The Board considered each of the following stated factors in Section 1204.3.E. 1 & 2 of the Code and finds that the application complies / does not comply with the requirements to the Boards satisfaction.

“Section 1204.3.E provides the following:

- 1. Factors to be considered in granting a special exception. In addition to any other requirement of this section, the following factors shall be considered in the determination to grant or deny a special exception for an antenna or tower:*

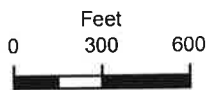
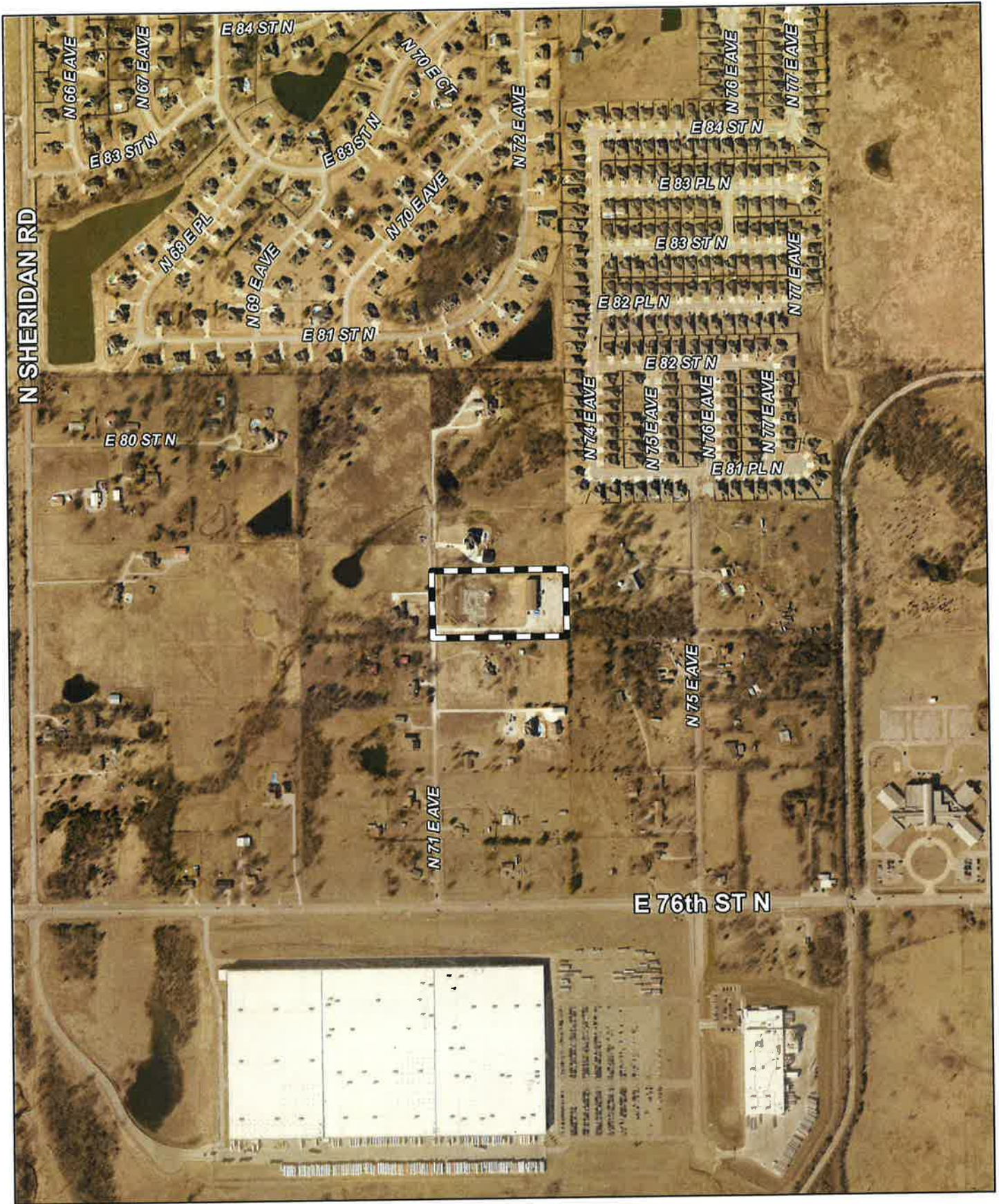
- a. **Height of the proposed tower**
- b. **Proximity of the tower to residential structures, residential district boundaries and existing towers**
- c. **Nature of uses on adjacent and nearby properties**
- d. **Surrounding topography**
- e. **Surrounding tree coverage and foliage**
- f. **Design of the tower, with particular reference to design characteristics that have the effect of reducing or eliminating visual obtrusiveness**
- g. **The total number and size of antennas proposed and the ability of the proposed tower to accommodate collocation**
- h. **Architectural design of utility buildings and accessory structures to blend with the surrounding environment**
- i. **Proposed ingress and egress**
- j. **The need of the applicant for a communications tower within the immediate geographic area to provide an acceptable level of communications service to the area**
- k. **The size of the tract and the most likely future development as indicated by the Comprehensive Plan, planned infrastructure, topography and other physical facts.**
- l. **Landscaping**

2. Collocation of facilities should be encouraged wherever practical by allowing reasonable extra height or tower diameter necessary to support multiple antennas.

Approved per conceptual plan(s) on page(s) _____ of the agenda packet.

Subject to the following conditions (if any): _____.

Finding the Special Exception will be in harmony with the spirit and intent of the Code, and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



Subject Tract

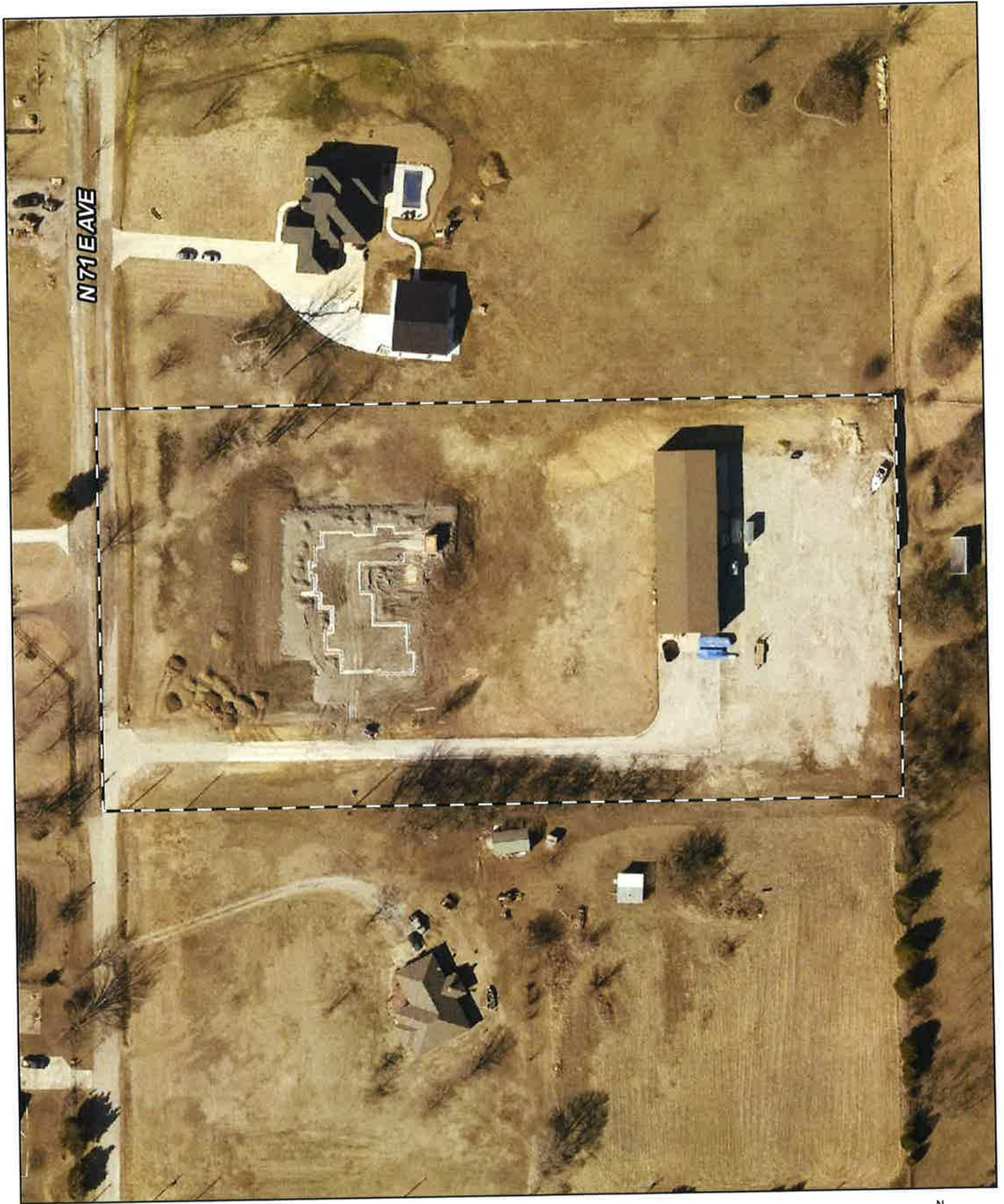
CBOA-2935

21-13 26

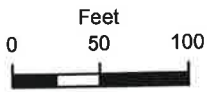
Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021





N 71 E AVE



Subject Tract

CBOA-2935

21-13 26

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021

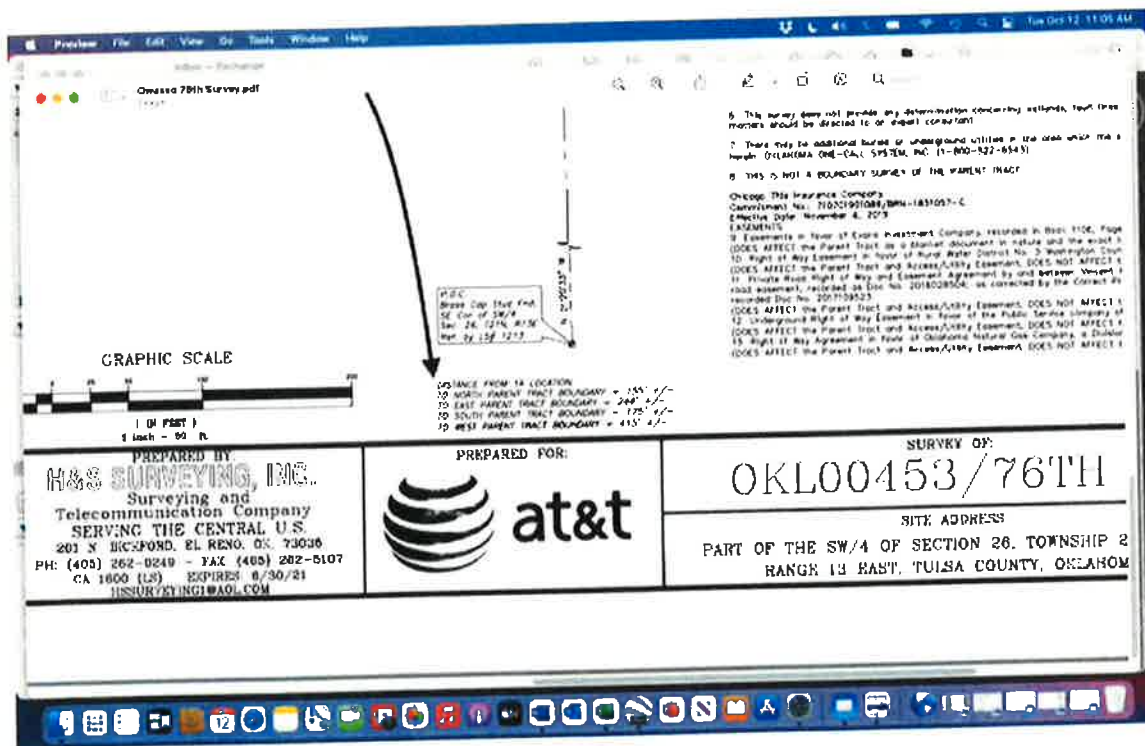


Jones, Robi

From: Ty Knott <tknott@kvsites.com>
Sent: Tuesday, October 12, 2021 11:08 AM
To: Jones, Robi
Subject: CRB Companies Owasso 76th Tower project

Robi, this is the radius from above at almost 161' from the tower and equipment.

Also below on the survey it shows the actual footage from the tower to each property line. Please let me know if you need anything else



Sec. 26, T21N, R13E
Ref. by LSF 128D

PARI
The
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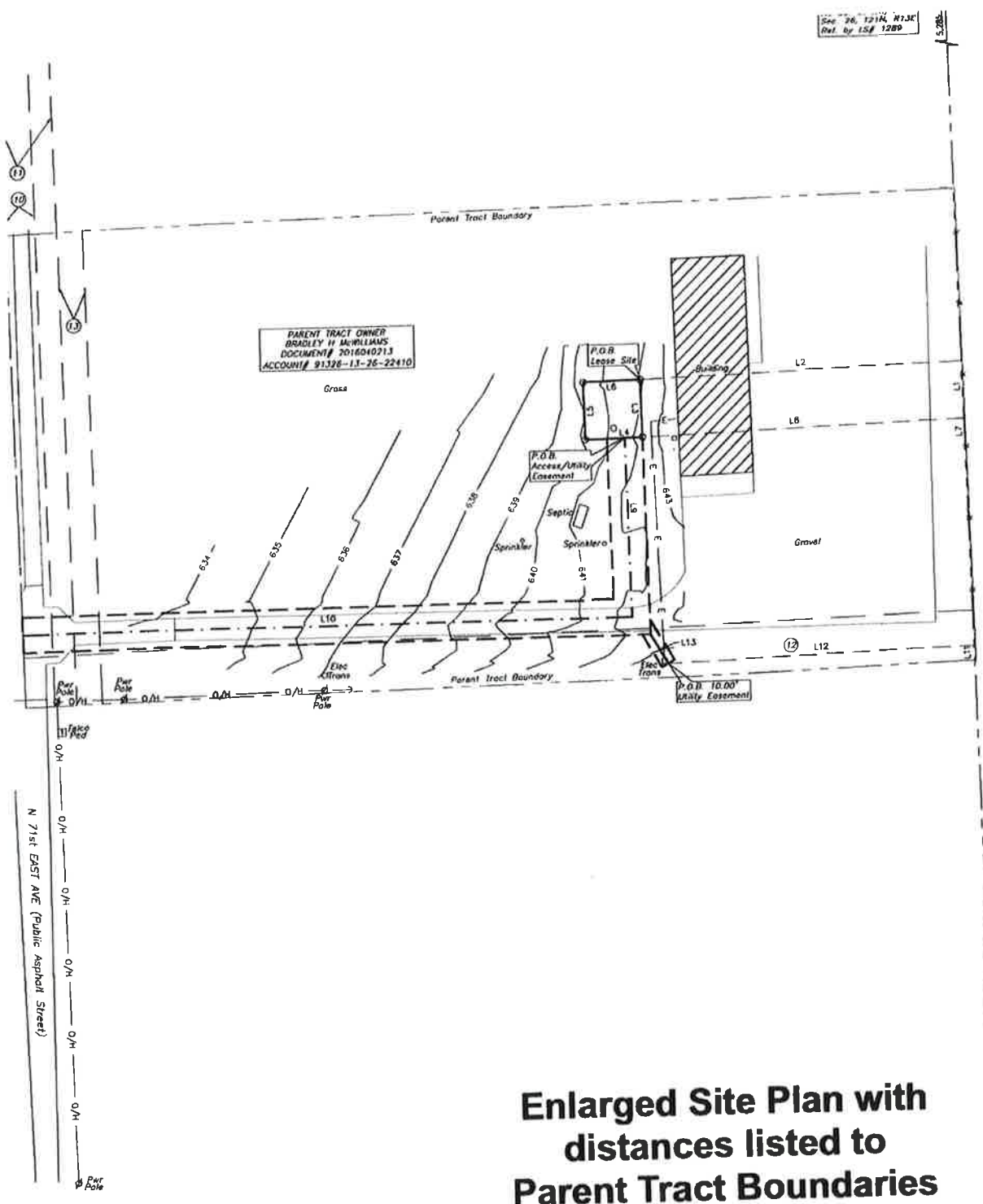
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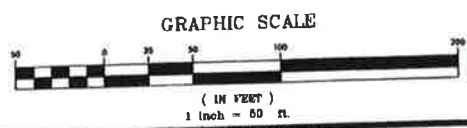
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Enlarged Site Plan with distances listed to Parent Tract Boundaries

P.O.C.
Brass Cap Stud Fnd.
SE Cor of SW/4
Sec. 26, T21N, R13E
Ref. by LSF 1213



DISTANCE FROM 1A LOCATION
TO NORTH PARENT TRACT BOUNDARY = 155' +/-
TO EAST PARENT TRACT BOUNDARY = 244' +/-
TO SOUTH PARENT TRACT BOUNDARY = 123' +/-
TO WEST PARENT TRACT BOUNDARY = 415' +/-

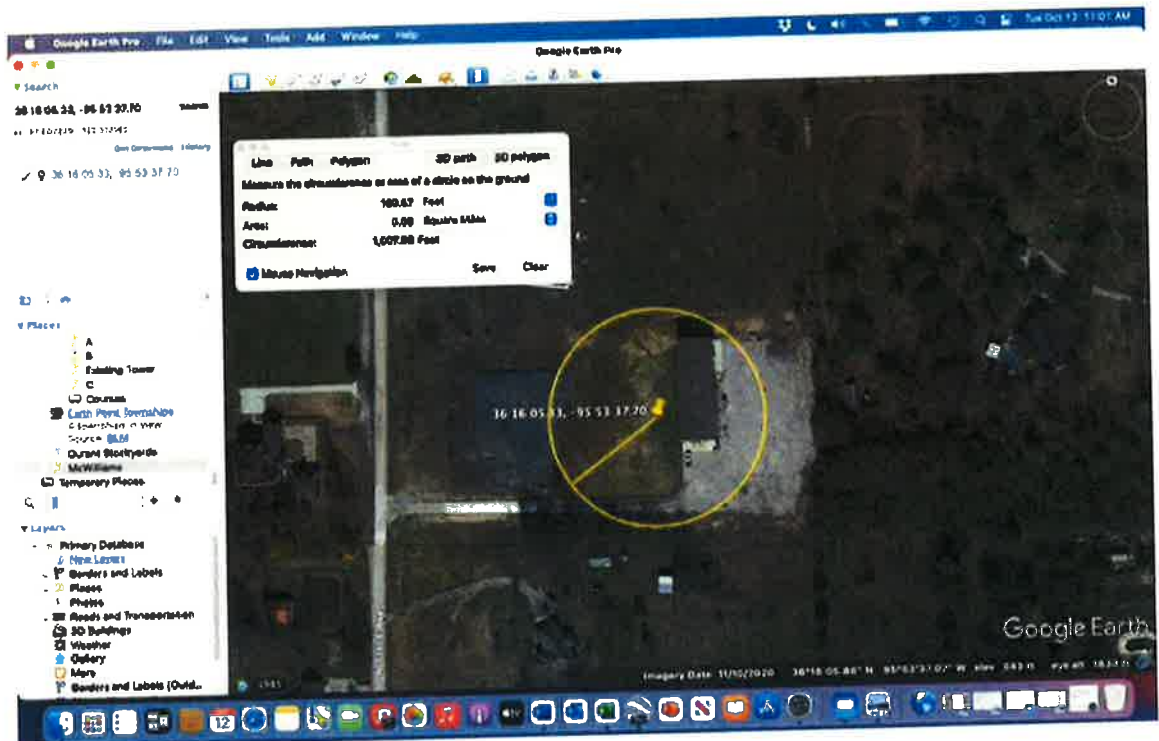
**BEFORE YOU DIG !!!
CALL OKIE FOR LOCATION
OF UNDERGROUND UTILITIES.
1-800-522-6543**

LEGEND	
	G - GAS LINE
	G - GAS METER
	T - TELEPHONE LINE
	T - TELEPHONE RISER
	S - SANITARY SEWER MANHOLE
	X - FENCE LINE
	M - STORM SEWER MANHOLE
	D - STORM SEWER LINE
	R - 1/2" IRON ROD WITH CAP SET
	F - IRON ROD FOUND

PREPARED BY:
H&S SURVEYING, INC.
Surveying and
Telecommunication Company
SERVING THE CENTRAL U.S.
201 N. BICKFORD, EL RENO, OK. 73036
PH: (405) 262-0249 - FAX: (405) 262-6107
CA 1800 (LS) EXPIRES: 6/30/21
HSSURVEYING1@AOL.COM

PREPARED FOR:

PART



Ty Knott
tknott@kvsites.com
918-698-2940

Jones, Robi

From: Spicy Boi <fireythewolf@outlook.com>
Sent: Thursday, November 4, 2021 7:52 PM
To: esubmit
Subject: The Communications Tower @ Barnes Elementary

Greetings,
I have contacted this company to display my stance against the proposed communications tower that would be built near my neighborhood. Please refrain from building it there.

Cheers,
Peyton Combs

Jones, Robi

From: BrightyCat <brightoncombs@gmail.com>
Sent: Thursday, November 4, 2021 8:02 PM
To: esubmit
Subject: Barnes ATT Tower

I am against the proposed communications tower that would be placed near Barnes Elementary.

Jones, Robi

From: Angie Combs <angie@fbcowasso.org>
Sent: Thursday, November 4, 2021 7:40 PM
To: esubmit
Subject: Proposed tower (76th, Owasso)

I have received notice of this massive substation and giant 145 foot tower that is proposed by Carrington Pointe neighborhood. As a home owner that lives next to this property I want to strongly object to this proposal.

Aside from the increased health risks of living that close to all this, it would ruin the aesthetics of our beautiful neighborhood and decrease all our property values as a result.

There is plenty of property near the Macy's or Milos that will not be near homeowners - I implore you to look for property there. I am certain this entire neighborhood will fully support you if you move across 76th away from us.

Thanks! - Angie Combs

Jones, Robi

From: David Johnson <johnsonokc@yahoo.com>
Sent: Monday, November 8, 2021 5:45 AM
To: esubmit
Subject: case CBOA-2935

I do not want a cell tower constructed on the property near my house. The proposed tower will be an eye sore blocking the nice view we currently have. This is a residential area - move the tower location south to the Milo tea factory or the Macys distribution center.

David Johnson
7402 East 81st Place N
Owasso, OK 74066

Jones, Robi

From: Jami Harris <jamiharris27@gmail.com>
Sent: Sunday, November 7, 2021 4:48 PM
To: esubmit
Subject: CBOA-2935

To Whom It May Concern:

I was recently made aware that a cell tower may be built at 7845 N 71st E Ave. I am writing to urge you not to approve this permit.

As homeowners in Carrington Pointe (8104 N 74th East Ave), my family would be negatively impacted by this cell tower. Not only would it dominate the skyline and destroy our view, but it would likely decrease our property value.

When purchasing our home, the view was one of the primary considerations. We first saw our home at sunset and instantly fell in love with the view. Our front view is of the neighborhood, and our back view is of fields and trees. It's serene and perfect after a long day at the office. We would not have purchased this house if there were a cell tower obstructing the view.

The cell tower will also likely have flashing lights, which will cause light pollution and impact sleep in my neighborhood.

Please stop the creation of the cell tower and save our neighborhood. Cell towers do not belong that close to a residential area.

Thank you for your kind consideration.

Sincerely,
Jami Shine

Sent from my iPhone

Jones, Robi

From: Paul Dwyer <pmdwyer0613@gmail.com>
Sent: Monday, November 8, 2021 1:44 PM
To: esubmit
Cc: stopthetower2021@gmail.com
Subject: Case Number CBOA-2935 - Cell Tower 7845 N. 71st East Ave.

To Whom It May Concern:

Recently we have been made aware of a cell tower being planned for 7845 N. 71st East Ave. in Tulsa County, OK. With this location being so close to my house I am asking the County not to approve this application and relocate the planned tower outside any residential area.

Please note we understand the importance of advancing our cellular capabilities, but to place this tower within residential properties is dangerous to any community in the area. We all know cell towers when overloaded can fail and collapse. Oklahoma known for their ice storms can bring down cell towers once enough ice is accumulated on the structure. To have one person benefit from a land lease and ignore the dangers in the immediate area would be irresponsible on the part of the county.

There is an industrial area just south of this property. Can not the owner of the tower relocate this tower 1/4 mile south and still have the desired elevation required for the tower? It is hard to believe the only location is in a residential area. I'm sure you will find most members of the community want better cell service, but not at the risk of public safety.

The county has a responsibility to protect residential areas and land uses. By the county's own Zoning Code it states 9 goals for placement of cell towers with all goals supporting public safety. Please understand the dangers involved and assure the 9 goals are maintained in the Zoning Code.

It is the county's job to reject this application and ask the cell tower Owner to find a location outside the residential community. Failure to reject this application and not ask the Owner to relocate the tower would make our community wonder why the county would jeopardize our safety while one individual financially benefits from the tower location.

Please deny this application and work with the Owner to find a location inside an industrial area as opposed to a residential area.

Sincerely,

Paul Dwyer
8220 N. 74th East Ave.
Owasso, OK 74055

Jones, Robi

From: Travis zimney <tzimney@gmail.com>
Sent: Monday, November 8, 2021 1:51 PM
To: esubmit
Subject: Reference Case: CBOA-2935
Attachments: image1.jpeg; image0.jpeg

To Whom It May Concern,

I'm writing today to express my concern on the case referenced in the subject line. CRB Companies seeks to construct a 145-foot tall communications tower at the address of 7845 N. 71st E. Ave in Owasso, OK 74055.

I am a resident of Carrington Pointe and my backyard view is a beautiful view of the field in which this company is seeking special permission to erect this potential eye sore of a tower. My wife and I, both in our 30s, saved alot of our hard earned money to build on this particular lot because of this view only for our biggest investment to be potentially severely impacted by the construction of this tower.

I am writing this letter to state the residents of 8106 N. 74th E. Ave. Owasso, Ok 74055 in Carrington Pointe are AGAINST the construction of this tower in the proposed area. The residents include myself, Travis Zimney, my wife Jessica Zimney, and my daughter Rori Zimney.

I want it to be clear that we are not against progress and we are not simply saying NO to the tower. We know that improving infrastructure makes our community a better place to live. There is an industrial area to the South of Carrington Pointe, on 76th St. N. (Where Milo's Tea and Macy's Distribution Center are located), that would easily host this kind of equipment. It would place the tower away from residential areas while still providing the same coverage and services to the community.

Section 1204.3 of the Tulsa County Zoning Code lists 9 goals for the placement of communications towers. The proposed tower site violates at least 4 of these goals including:

- Protecting residential areas and land uses from potentially adverse impacts
- Encouraging users of towers to locate them where the adverse impact to the community is minimal
- Encourage the location of towers in NON-RESIDENTIAL AREAS
- Consider the public health and safety of communication towers

I implore, and kindly ask that county officials side with their residents on this matter.

Attached is a picture from my backyard showing the currently beautiful view taken in the direction CRB plans to construct their tower.

Thank you for your time and consideration,

Travis Zimney
Carrington Pointe Resident
8106 N. 74th E. Ave.
Owasso, Ok 74055
918-636-9747

Jones, Robi

From: Tom Bartz <tbartz47@gmail.com>
Sent: Tuesday, November 9, 2021 11:59 AM
To: esubmit
Subject: Cell Tower at 7845 N 71st E Ave, Owasso, Case CBOA-2935

Follow Up Flag: Follow up
Flag Status: Flagged

I object to the cell tower planned for the above address. This would dominate the skyline view from our backyard. My wife and I have enjoyed the view of the field behind our house. The field is well maintained and presents an enjoyable view and a tower in the middle of the skyline will dominate that view.

There are properties close that would be a better choice for the tower instead of adjacent to a residential area.

Thomas Bartz
8112 N 74th E Ave, Owasso, OK 74055

Jones, Robi

From: mont4@cox.net mont4@cox.net <mont4@cox.net>
Sent: Tuesday, November 9, 2021 9:39 AM
To: esubmit
Cc: stopthetower2021@gmail.com
Subject: [SPAM] Cell tower, Ref Case #CBOA-2935

Dear Tulsa County Board of Adjustment,

We are not in favor of placing a 145 foot tall cell phone tower **in our neighborhood**. It would completely destroy our beautiful landscape and skyline as well as possibly affecting the health and safety of our families and children. *We are not against progress, just the location for this tower in and amongst our homes.* We know that improving our infrastructure makes our community a better place to live and we all use cell phones, but there has to be a better alternative placement, there is an industrial area, just south of 76th St N. a mere few blocks away, where Macy's and Milo's are located, that would easily host this kind of equipment. It would place the tower away from our residential neighborhood areas while still providing the same coverage and services to our community.

This adverse impact to our neighborhood would be such a sad thing, when an alternative location is so easily located.

Please consider this cell phone tower to be located outside of our actual neighborhood and residential area to reduce the impact on our families and property. Thank you.

Steve and Rhonda Montee

6705 E 80th St N.

Owasso, OK 74055

Jones, Robi

From: mont4@cox.net mont4@cox.net <mont4@cox.net>
Sent: Tuesday, November 9, 2021 9:29 AM
To: esubmit
Cc: stopthetower2021@gmail.com
Subject: [SPAM] Ref case #CBOA-2935

Dear Tulsa County Board of Adjustments,

Per case CBOA-2935, placing a 145 foot tall cell phone tower in my neighborhood would completely destroy the beauty of our landscape and scenery, and possibly hurt the public health and safety of our area. It is something we are not opposed to having, just not in the neighborhood. We are not saying NO to the tower just NO to it being in our neighborhood. There is an industrial part just south on 76th St N, where Milo's and Macy's are located, that would easily host this kind of equipment.

DIVISION 1 – GENERAL REQUIREMENTS

1.1 INTENT

- A. THESE SPECIFICATIONS AND CONSTRUCTION DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE DONE AND THE MATERIALS TO BE FURNISHED FOR CONSTRUCTION.
- B. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON AND NOT THE OTHER, IT SHALL BE ACCOMPLISHED AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH.
- C. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK STIPULATED IN THE CONTRACT.
- D. THE PURPOSE OF THE SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- E. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK WILL BE MADE OR PERMITTED BY THE OWNER WITHOUT ISSUING A CHANGE ORDER.

1.2 CONFLICTS

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OFF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSION WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE OWNER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREAS.
- B. THE BIDDER, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING CONCERNING WHICH SUCH BIDDER MIGHT HAVE BEEN FULLY INFORMED PRIOR TO BIDDING.
- C. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED IN THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONTRACT DOCUMENTS GOVERNING THE WORK.

1.3 CONTRACTS AND WARRANTIES

- A. EACH CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT AT THE LOCAL JURISDICTION AS THE CONTRACTOR-OF-RECORD, AND PROVIDING JURISDICTION WITH ALL PROOF REQUIRED TO OPERATE AS A CONTRACTOR IN THAT JURISDICTION. THE CONTRACTOR SHALL BE REIMBURSED ONLY THE AMOUNT OF ANY FEE PAID AS FOLLOWS:
 - 1. PLAN REVIEW FEE.
 - 2. BUILDING PERMIT FEE.
 - 3. CONNECTIONS AND INSPECTIONS FEE.
- B. CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND PAYMENT OF CONTRACTOR LICENSES AND BONDS.

1.4 STORAGE

ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY FASHION AND IN A MANNER THAT DOES NOT NECESSARILY OBSTRUCT THE FLOW OF OTHER WORK. ANY STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE ASSOCIATED MANUFACTURER.

1.5 CLEAN UP

- A. THE CONTRACTORS AT ALL TIME SHALL KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING AREA, INCLUDING ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND SHALL LEAVE THEIR WORK CLEAN AND READY FOR USE EXCEPT VISUALLY INSPECTED EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER RESIDUE MATTER.
- B.
 - 1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
 - 2. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSES DOWN THE EXTERIOR OF THE STRUCTURE.
- C. INTERIOR: VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER FROM WALLS/FLOOR/CEILING.
 - 1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
 - 2. REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.

1.6 CHANGE ORDER PROCEDURE

- A. THE CONTRACTOR CHANGE ORDERS MAY BE INITIATED BY THE OWNER AND/ OR THE CONTRACTOR INVOLVED. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE OWNER SHALL PREPARE A WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT TO THE OWNER WITHIN 72 HOURS FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURE REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN SCOPE OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT WRITTEN CHANGE ORDER AS DESCRIBED AND APPROVED BY THE OWNER SHALL PLACE FULL RESPONSIBILITY OF THESE ACTIONS ON THE CONTRACTOR.

1.7 RELATED DOCUMENTS AND COORDINATION

- A. GENERAL CARPENTRY, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK, THE CONTRACTOR MUST REFER TO ALL DRAWINGS. ALL COORDINATION TO BE RESPONSIBILITY OF THE CONTRACTOR.

1.8 SHOP DRAWINGS

- A. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS TO THE OWNER FOR APPROVAL.
- B. ALL SHOP DRAWINGS SHALL BE REVIEWED, CHECKED AND CORRECTED BY CONTRACTOR PRIOR TO BEING SUBMITTED TO THE OWNER.

1.9 PRODUCTS AND SUBSTITUTIONS

- A. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST IDENTIFY THE PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.
- B. SUBMIT ALL NECESSARY PRODUCT DATA AND CUT SHEETS WHICH PROPERLY INDICATE AND DESCRIBE THE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE OWNER, SUBMIT ACTUAL SAMPLES TO THE OWNER FOR APPROVAL IN LIEU OF CUT SHEETS.

1.10 QUALITY ASSURANCE

- A. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THESE SHALL INCLUDE BUT NOT BE LIMITED TO THE LATEST VERSION OF THE FOLLOWING:
 - * ANSI TIA/EIA – 222 – G
 - * IBC 2015
 - * BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA)-IBC 2015
 - * NATIONAL ELECTRICAL CODE-NEC 2017
 - * UNDERWRITER LABORATORIES APPROVED ELECTRICAL PRODUCTS
 - * AMERICAN INSTITUTE OF STEEL CONSTRUCTION
 - * SPECIFICATIONS (AISC)
 - * LIFE SAFETY CODE- IBC 2015, IFC 2015, NFOA 101

1.11 ADMINISTRATION

- A. BEFORE THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR WILL ASSIGN A PROJECT MANAGER WHO WILL ACT AS A SINGLE POINT OF CONTACT FOR ALL PERSONNEL INVOLVED IN THIS PROJECT. THIS PROJECT MANAGER WILL DEVELOP A MASTER SCHEDULE FOR THE PROJECT WHICH WILL BE SUBMITTED TO THE OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.
- B. SUBMIT A BAR LIKE PROGRESS CHART NOT MORE THAN 3 DAYS AFTER THE DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK ON THE SCHEDULE, INDICATING A TIME BAR FOR EACH MAJOR CATEGORY OR UNIT OF WORK TO BE PERFORMED AT SITE, PROPERLY SEQUENCED AND COORDINATED WITH OTHER ELEMENTS IN ADVANCE OF THE DATE ESTABLISHED FOR SUBSTANTIAL COMPLETION OF THE WORK.
- C. PRIOR TO COMMENCING CONSTRUCTION, THE OWNER SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE OWNER, PROJECT MANAGER, CONTRACTOR, LAND OWNER REPRESENTATIVE, LOCAL TELEPHONE COMPANY, TOWER ERECTION FOREMAN (IF SUBCONTRACTED).
- D. CONTRACTOR SHALL BE EQUIPPED WITH SOME MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A MOBILE PHONE OR A BEEPER. THIS EQUIPMENT WILL NOT BE SUPPLIED BY THE OWNER, NOR WILL WIRELESS SERVICE BE ARRANGED.
- E. DURING CONSTRUCTION, CONTRACTOR MUST ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WILL WEAR HARD HATS AT ALL TIMES. CONTRACTOR WILL COMPLY WITH ALL WPCS SAFETY REQUIREMENTS IN THEIR AGREEMENT.
- F. CONTRACTOR MUST PROVIDE WRITTEN DAILY UPDATES ON SITE PROGRESS TO THE OWNER.
- G. A COMPLETE INVENTORY OF CONSTRUCTION MATERIALS AND EQUIPMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION.
- H. NOTIFY THE OWNER / PROJECT MANAGER IN WRITING NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, TOWER ERECTIONS, AND EQUIPMENT CABINET PLACEMENTS.

1.12 INSURANCE AND BONDS

- A. CONTRACTOR AT THEIR OWN EXPENSE SHALL CARRY AND MAINTAIN FOR THE DURATION OF THE PROJECT ALL INSURANCE AS REQUIRED AND LISTED AND SHALL NOT COMMENCE WITH THEIR WORK UNTIL THEY HAVE PRESENTED AN ORIGINAL CERTIFICATE OF INSURANCE STATING ALL COVERAGE TO THE OWNER. REFER TO THE MASTER AGREEMENT FOR REQUIRED INSURANCE LIMITS.
- B. THE OWNER SHALL BE NAMED AS AN ADDITIONAL INSURED ON ALL POLICIES.
- C. CONTRACTOR MUST PROVIDE PROOF OF INSURANCE.

DIVISION 2 – SITE WORK AND DRAINAGE

1.1 WORK INCLUDED:

REFER TO THE SURVEY AND SITE PLAN FOR WORK INCLUDED.

1.2 RELATED WORK

- B. INSTALLATION OF ANTENNA SUPPORT SYSTEM

1.5 SEQUENCING

- A. CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION.
- B. IF REQUIRED, GRADE, SEED, FERTILIZED AND MULCH DISTURBED AREAS IMMEDIATELY AFTER BRINGING THE SITE AND ACCESS ROAD TO BASE COURSE ELEVATION. WATER TO ENSURE GROWTH.
- C. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE.

1.7 WARRANTY

- A. IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO SURROUNDING PROPERTY CAUSED BY CONSTRUCTION.
- B. DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS COVER PRIOR TO FINAL INSPECTION.

2.1 MATERIALS

- A. SITE MATERIALS: FILL MATERIAL – ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH LOCAL DEPARTMENT OF HIGHWAY AND PUBLIC TRANSPORTATION STANDARDS SPECIFICATION.
- B. SOIL STABILIZER FABRIC SHALL BE MIRAFI – 500X.
- C. NON-STRUCTURAL SITE CONCRETE SHALL BE 3000 PSI BREAKING STRENGTH AT 28 DAYS. COMPLY WITH GENERAL PROVISIONS OF DIVISION 3 CONCRETE SPECIFICATIONS.

2.2 EQUIPMENT

- A. COMPACTING SHALL BE ACCOMPLISHED BY MECHANICAL MEANS. LARGER AREA SHALL BE COMPACTED BY SHEEPS FOOT, VIBRATOR OR RUBBER TIRE ROLLERS UNLESS OTHERWISE INSTRUCTED BY THE OWNER. REMOVE TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, REMOVE SOFT SPOTS AND COMPACT TO 95% STANDARD PROCTOR.

3.1 INSPECTIONS

LOCAL BUILDING INSPECTION SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.

3.2 PREPARATION

- A. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION EFFORTS GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX INCHES BELOW ORIGINAL GROUND LEVEL.
- B. UNLESS OTHERWISE INSTRUCTED BY THE OWNER, REMOVE TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
- C. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, REMOVE SOFT SPOTS AND COMPACT TO 95% STANDARD PROCTOR.
- D. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE DRUBBED AREAS WITH STABILIZER MAT PRIOR TO REPLACEMENT OF FILL OR BASE MATERIAL.

VENDOR:



405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134



OKLAHOMA CITY, OK 73102
TEL: (405) 529-8134
FAX: (405) 529-8134

PRODUCED BY:



SPECIALTY TELECOMMUNICATIONS SERVICES, PLLC
PROFESSIONAL ENGINEERS AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
CGA #5498

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY – NOT FOR CONSTRUCTION

10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER: GN1	PROJECT #: OKL00453	REVISION:
BY: JWM	CRD BY: JWM	A

3.3 INSTALLATION

- A. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF THE OWNERS LEASE PROPERTY UNLESS AUTHORIZED BY PROJECT MANAGER, IN WRITING.
- B. THE FINISH GRADE, INCLUDING TOP SURFACE COURSE, SHALL EXTEND TO LEASE LINE.

3.4 FIELD QUALITY CONTROL

- A. COMPACTION SHALL BE 90% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 FOR SITE WORK AND 95% UNDER PLATFORM AREA. SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE.

3.5 QUALITY ASSURANCE

- A. ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN 12 OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE E ZINC, 1.8 OUNCES PER SQUARE FOOT.

3.6 APPLICABLE STANDARDS

- A. ASTM-A120 SPECIFICATION FOR PIPE, STEEL BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS FOR ORDINARY USES.
- B. ASTM-123 ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL PRODUCTS.
- C. ASTM-A153 STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.
- D. ASTM-A392 SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE FABRIC.
- E. ASTM-A491 SPECIFICATION FOR ALUMINUM-COATED CHAIN LINK FENCE FABRIC.
- F. ASTM-A525 STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS.
- G. ASTM A570 SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP STRUCTURAL QUALITY.
- H. ASTM-A585 SPECIFICATION FOR ALUMINUM COATED STEEL BARBED WIRE.

EXCAVATE POST HOLES WITH MECHANICAL AUGER EQUIPMENT. EXCAVATE POST HOLES PER CONSTRUCTION DOCUMENTS. CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS.

SPECIAL CONSTRUCTION TOWER & ANTENNA INSTALLATION

1.1 WORK INCLUDED

- A. IF REQUIRED, ERECT FURNISHED TOWER.
- B. GROUND TOWER TEMPORARILY DURING ERECTION. GROUNDING SHOULD INCLUDE BASE(S) AND ANCHORS.
- C. IF REQUIRED, INSTALL THREE (3) SIDE ARMS, CONSISTING OF OWNER REPRESENTATIONS.
- D. INSTALL ANTENNAS AS INDICATED ON DRAWINGS AND OWNER SPECIFICATION.
- E. INSTALL GALVANIZED STEEL ANTENNA MOUNTS AS INDICATED ON DRAWINGS.
- F. INSTALL FURNISHED GALVANIZED STEEL WAVE GUIDE LADDER.
- G. INSTALL WAVE GUIDE BRIDGE AS INDICATED ON DRAWING.
- H. SUPPLY AND INSTALL ONE INSULATED GROUND BAR AT EQUIPMENT CABINET.
- I. SUPPLY AND INSTALL GROUNDING KITS WITH LONG BARREL DOUBLE CRIMPED COMPRESSION LUGS. (S.W. TO ANDREW-223700TBD OF APPROVED EQUAL) ATOP TOWER BASE BEFORE ENTERING THE EQUIPMENT. GROUNDING LEADS TO BE CONNECTED TO INSULATED GROUND BAR.
- A. ASSIST OWNER TECHNICIANS IN PERFORMING SWEEP TEST OF INSTALLED COAX.
- B. CONCRETE PIERS FOR FOUNDATIONS SHALL BE DRILLED AND POURED ON THE SAME DAY.

2.2 RELATED WORK

2.3 REQUIREMENTS OF REGULATOR AGENCIES

- A. FURNISH U.L. LISTED EQUIPMENT WHERE SUCH LABEL IS AVAILABLE, INSTALL IN CONFORMANCE WITH U.L. STANDARDS WHERE APPLICABLE.
- B. INSTALL ANTENNA, ANTENNA CABLES AND GROUNDING SYSTEM IN ACCORDANCE WITH DRAWINGS AND SPECIFICATION IN EFFECT AT PROJECT LOCATION AND RECOMMENDATIONS OF STATE AND LOCAL BUILDING CODES, SPECIAL CODES HAVING JURISDICTION OVER SPECIFIC PORTIONS OF WORK, THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
 - 1. EA - ELECTRONIC INDUSTRIES ASSOCIATION TIA-EIA-222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.
 - 2. FAA - FEDERAL AVIATION ADMINISTRATION ADVISORY CIRCULAR AC 70/7460-IH, OBSTRUCTION MARKING AND LIGHTING.
 - 3. FCC - FEDERAL COMMUNICATIONS COMMISSION RULES AND REGULATIONS FORM 715, OBSTRUCTION MARKING AND LIGHTING SPECIFICATIONS FOR ANTENNA STRUCTURES.
 - 4. AISC - AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

- 5. NEC - NATIONAL ELECTRICAL CODE - ON TOWER LIGHTING KITS.
- 6. UL - UNDERWRITER'S LABORATORIES APPROVED ELECTRICAL PRODUCTS.
- 7. IN ALL CASES, PART 77 OR THE FAA RULES AND PARTS 17 AND 22 OF THE FCC RULES ARE APPLICABLE AND IN THE EVENT OF CONFLICT, SUPERSEDE ANY OTHER STANDARDS OR SPECIFICATIONS.
- 8. IBC 2015, IFC 2015, NFOA 101

3.3 INSTALLATION

- A. THE ACCESS ROAD SHALL BE BROUGHT TO BASE COURSE ELEVATION PRIOR TO FOUNDATION CONSTRUCTION.
- B. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
- C. THE CONTRACT INCLUDES ALL NECESSARY GRADING, BANKING, DITCHING AND UNLESS OTHERWISE INDICATED, COVERING TWO INCHES OF SURFACE COURSE. ALL ROADS OR ROUTES UTILIZED FOR ACCESS TO THE SITE, COMMENCING AT THE POINT OF INTERSECTION WITH THE NEAREST PUBLIC THROUGHFARE, ARE INCLUDED IN SCOPE UNLESS OTHERWISE NOTED.
- D. WHEN APPROVING AN EXISTING ACCESS ROAD, GRADE THE EXISTING ROAD TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
- E. PLACE FILL OR STONE IN 6 INCH MAXIMUM LIFTS AND COMPACT BEFORE PLACING NEXT LIFT.
- F. THE FINISH GRADE, INCLUDING TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF ONE FOOT BEYOND THE SITE FENCE AND SHALL COVER THE AREA AS INDICATED.
- G. RIP RAP SHALL BE APPLIED TO THE SIDES SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS AND TO ALL OTHER SLOPES GREATER THAN 2 : 1.
- H. RIP RAP SHALL BE APPLIED TO THE SIDES OF SIDES OF DITCHES OR DRAINAGE SWALES AS INDICATED ON PLANS.
- I. RIP RAP ENTIRE DITCH FOR SIX FEET IN ALL DIRECTIONS AT CULVERT OPENINGS.
- J. SEED, FERTILIZER AND STRAW COVER SHALL BE APPLIED TO ALL OTHER DISTURBED AREAS AND DITCHES, DRAINAGE, SWALES, NOT OTHERWISE RIP-RAPPED.
- K. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES OR CULVERTS BE PLACED SO THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SITE, IF OWNER DESIGNS OR ELEVATIONS CONFLICT WITH THIS GUIDANCE ADVISE THE OWNER IMMEDIATELY, IN WRITING.
- L. IF DITCH LIES WITH SLOPES GREATER THAN TEN PERCENT, MOUND OVERSIZINARY HEADWALLS IN THE DITCH AND RIP RAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX FEET ABOVE THE CULVERT ENTRANCE.
- M. SEED AND FERTILIZER SHALL BE APPLIED TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
- N. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
- O. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE GROWTH OF SEED AND LANDSCAPED AREAS BY WATERING UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.

3.5 PROTECTION

- A. PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATE.
- B. ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED, TIED WITH HOSE PROTECTION WIRE AND SECURED TO 2 1/2 INCH x 2 INCH x 4 FOOT STEEL ANGLE EXTENDING TWO FEET INTO THE GROUND ON FOUR SIDES OF THE TREE.
- C. ALL EXPOSED AREAS SHALL BE PROTECTED AGAINST WASHOUTS AND SOIL EROSION.

FENCE (IF REQUIRED)

1.1 WORK INCLUDED

REFER TO SITE PLANS FOR SIZE AND LOCATION OF FENCE AND GATES TO BE INSTALLED.

1.2 RELATED WORK

- A. COORDINATE FENCE GROUNDING WITH ELECTRICAL SUBCONTRACTOR.
- B. REFER TO DIVISION 2 - CONCRETE FOR SPECIFICATION OF CONCRETE AND GROUT.

1.4 SEQUENCING

- A. IF THE SITE AREA HAS BEEN BROUGHT ON TO SURFACE COURSE ELEVATION PRIOR TO FENCE CONSTRUCTION, FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SIDE SURFACE COURSE.

1.5 SUBMITTALS

- A. MANUFACTURER'S DESCRIPTIVE LITERATURE.
- B. CERTIFICATE OF COMPLIANCE THAT SPECIFICATIONS HAVE BEEN MET.

2.1 FENCE MATERIAL

- A. ALL FABRIC WIRE, RAILS, POLES, HARDWARE AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.
- B. FABRIC SHALL BE SIX FOOT HIGH (VERIFY W/PROJECT MANAGER) TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.148") WIRE. THE FABRIC SHALL HAVE A KNUCKLED FOR THE TOP AND BOTTOM EDGES; FABRIC SHALL CONFORM TO SPECIFICATIONS OF ASTM A-392 CLASS 1.
- C. ALL POSTS SHALL BE SCHEDULE 40 GALVANIZED STEEL PIPE AND SHALL BE TYPE 1.ASTM A-128 AND OF THE FOLLOWING DIAMETER (OO PER FENCE INDUSTRY STANDARD).

LINE CORNER GATE	2 5/8 INCHES 4 INCHES 4 INCHES
------------------	--------------------------------------

- D. ALL TOP AND BRACE RAILS SHALL BE 1 1/4" DIAMETER SCHEDULE - 40 MECHANICAL SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.
- E. HORIZONTAL BRACE SHALL HAVE A FULL-HEIGHT VERTICAL BRACE AND A FULL-WIDTH GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTER WITH MODEL 6409, 185 DEGREE ATTACHMENT, OR EQUAL.
- F. THE GUIDE (LATCH ASSEMBLY) SHALL BE MERCHANTS METAL MODEL 2083, OR EQUAL.
- G. LATCHES, STOPS AND KEEPERS SHALL BE PROVIDED FOR ALL GATES.
- H. ALL STOPS SHALL HAVE KEEPERS CAPABLE OF HOLDING THE GATE LEAF IN THE OPEN POSITION.
- J. DOUBLE GATE SHALL HAVE A HEIGHT PLUNGER BAR WITH DOME CAP.
- K. A NO. 9 GAUGE ZINC COATED TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.
- L. PLACE A SIX INCH BY 1/2 INCH DIAMETER EYE-BOLT TO HOLD TENSION WIRE AT LINE POSTS.
- M. STRETCHER BARS SHALL BE 3/16 BY 3/4 INCH OR HAVE EQUIVALENT CROSS SECTION AREA.
- N. ALL CORNER GATE AND END PANELS SHALL HAVE A 3/8 INCH TRUSS ROD WITH TURNBUCKLES.
- O. ALL POST EXCEPT GATE POST SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.
- P. OTHER HARDWARE INCLUDES BUT MAY NOT BE LIMITED TO THE CLIPS, BAND CLIPS AND TENSION BAND CLIPS.
- Q. BARBED WIRE GATE GUARDS SHALL BE FITTED WITH DOME CAPS.
- R. BARBED WIRE SUPPORT AND SHALL BE CAST IRON WITH SET BOLT AND LOCK WIRE IN THE ARM.
- S. ALL CAPS SHALL BE CAST IRON.
- T. CONCRETE WILL BE MIXED RATIO TO INSERTION INTO FENCE POST HOLE.

EXECUTION

3.1 EQUIPMENT

EXCAVATE POST HOLES WITH MECHANICAL AUGER EQUIPMENT.

3.2 INSPECTION

EXCAVATE POST HOLES PER CONSTRUCTION DOCUMENTS. CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS.

3.3 INSTALLATION

- A. POST FOUNDATIONS SHALL HAVE A MINIMUM SIX-INCH CONCRETE COVER UNDER POST.
- B. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB WITHIN ONE INCH IN EIGHT FEET.
- C. AT CORNER POSTS, GATE POSTS AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED STRETCHER AND TENSION BAND-CLIPS AT 15 INCH INTERVALS.
- D. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BANDS-CLIPS AT 15 INCH INTERVALS.
- E. ATTACH FABRIC TO BRACE RAILS, TENSION WIRE TRUSS RODS WITH THE CLIPS AT FOOT INTERVALS.
- F. A MAXIMUM GAP OF TWO INCHES WILL BE PERMITTED BETWEEN THE CHAIN LINK FABRIC AND THE FINAL GRADE.
- G. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
- H. CONCRETE FOR FENCE POST SHALL HAVE A MINIMUM OF 2,500 PSI BREAKING STRENGTH AT 28 DAYS.

3.4 PROTECTION

UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT COLOR TO MATCH THE GALVANIZED PROCESS.

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PRELIMINARY - NOT FOR CONSTRUCTION

10/1/21

NO	DATE	DESCRIPTION	BY
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SHEET TITLE:
GENERAL NOTES

SHEET NUMBER: GN2	PROJECT #: OKL00453	REVISION:
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ELECTRICAL NOTES

SCOPE

- SHALL INCLUDE ALL LABOR, MATERIALS AND APPLIANCES REQUIRED FOR THE FURNISHING, INSTALLING AND TESTING, COMPLETE AND READY FOR OPERATION OF ALL WORK SHOWN ON THE DRAWING AS SPECIFIED HEREIN:

- | | |
|------------------------|-------------------------------|
| 1. ELECTRIC SERVICE | 4. MISCELLANEOUS MATERIALS |
| 2. CONDUIT AND RACEWAY | 5. TELEPHONE CONDUITS |
| 3. CONDUCTORS | 6. LIGHTNING ARRESTING SYSTEM |

CODES

- THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST EDITIONS OF:

A. THE NATIONAL ELECTRICAL SAFETY CODE	C. LOCAL AND STATE AMENDMENTS
B. THE NATIONAL ELECTRIC CODE - NFPA-70	D. REGULATIONS OF THE SERVING UTILITY COMPANY
- ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.
- AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

TESTING

- UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST ALL EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. ALL TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

GUARANTEE

- IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER. WITHOUT EXPENSE TO THE OWNER ALL WARRANTY CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

CO-ORDINATION

- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH ALL SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

EXAMINATION OF SITE

- PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS PARAGRAPH WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

CUTTING, PATCHING AND EXCAVATION

- COORDINATION OF ALL SLEEVES, CHASES, ETC., WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. ALL CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.
- ALL NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE WORK UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING SHALL BE PROVIDED BY THIS CONTRACTOR.
- SEAL ALL PENETRATION THROUGH WALL AND FLOORS WITH APPROVED GROUT.

EXTERIOR CONDUIT

- ALL EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.

RACEWAYS

- ALL CONDUCTORS SHALL BE INSTALLED IN CONDUIT. ALL CONDUIT SHALL BE RIGID STEEL, EMT OR SCH 40 PVC AS INDICATED ON THE DRAWINGS.
- WHERE INSTALLED ON EXTERIORS AND EXPOSED TO DAMAGE, ALL CONDUIT SHALL BE RIGID STEEL. ALUMINUM CONDUIT SHALL NOT BE ALLOWED.
- CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT.
- UNDERGROUND CONDUITS SHALL BE RIGID STEEL OR SCHEDULE 40 PVC AS INDICATED ON THE DRAWINGS.
- ALL CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. ALL CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
- PROVIDE SUPPORTS FOR ALL CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. ALL CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.
- BURIAL DEPTH OF ALL CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION.
- CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND BUILDING OWNER.

EQUIPMENT

- ALL DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TAPE.
- NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT, AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK.

CONDUCTORS

- FURNISH AND INSTALL CONDUCTORS CALLED FOR IN THE DRAWINGS. ALL CONDUCTORS SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
- ALL CONDUCTORS SHALL BE COPPER, THE USE OF ALUMINUM CONDUCTORS SHALL NOT BE ALLOWED. ALL CONDUCTORS SHALL BE UL LISTED AND SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:
 - MINIMUM WIRE SIZE SHALL BE #12 AWG.
 - ALL CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND SMALLER MAY BE SOLID OR STRANDED.
 - CONNECTION FOR #10 AWG AND SMALLER SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
 - CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.
- ALL CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.
- THE RACEWAY SYSTEM SHALL BE COMPLETE BEFORE INSTALLING CONDUCTORS.

PENETRATIONS

- CONTRACTOR SHALL COMPLY WITH UL PENETRATIONS DETAILS FOR PENETRATIONS OF ALL RATED WALLS, ROOF, ETC.

GROUNDING

- ALL ELECTRICAL NEUTRALS, RACEWAYS AND NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT & ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED BY ONE POINT ONLY.
- PROVIDE GROUND CONDUCTOR IN ALL RACEWAYS.
- PROVIDE BONDING AND GROUND TO MEET NFPA 780 - LIGHTNING PROTECTION AS A MINIMUM.
- PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE AND RADIO EQUIPMENT MANUFACTURER.
- ALL GROUNDING SYSTEM CONDUCTORS AND CONNECTIONS BELOW GRADE SHALL BE THERMAL WELDS AT GROUND RODS AND AT A MIN. OF 30" BELOW GRADE.
- ALL INSTALLATIONS SHALL BE VERIFIED.
- ALL GROUND WIRE SHALL BE #2 AWG BARE SOLID TINNED COPPER UNLESS NOTED OTHERWISE.
- ALL GROUND WIRES SHALL PROVIDE A STRAIGHT DOWNWARD PATH TO GROUND RING WITH GRADUAL BEND AS REQUIRED. GROUND WIRES SHALL NOT BE LOOPED OR SHARPLY BENT.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF GROUND RODS AND GROUND RING WITH FOUNDATION AND UNDER GROUND CONDUIT.
- EACH EQUIPMENT CABINET SHALL BE CONNECTED WITH (2) #2 AWG INSULATED SOLID TINNED COPPER WIRE TO GROUND BAR. EQUIPMENT CABINETS SHALL EACH HAVE (2) CONNECTIONS.
- ANTENNA GROUND KITS SHALL BE FURNISHED BY VERTICAL BRIDGE AND INSTALLED BY ELECTRICAL CONTRACTOR.
- KOPR-SHIELD ANTI-OXIDATION COMPOUND SHALL BE USED ON ALL GROUNDING CONNECTIONS.
- ALL EXOTHERMIC CONNECTIONS SHALL BE INSTALLED UTILIZING THE PROPER CONNECTION/MOLD AND MATERIAL FOR THE PARTICULAR APPLICATION.
- ALL BOLTED GROUNDING CONNECTIONS SHALL BE INSTALLED WITH A LOCK WASHER UNDER THE NUT, HARDWARE FOR BOLTED CONNECTIONS SHALL BE A MINIMUM OF 3/8" AND SHALL BE STAINLESS STEEL.
- GROUNDING WIRE SHALL NOT BE INSTALLED OR ROUTED THROUGH HOLES IN ANY METAL OBJECTS OR SUPPORTS TO PRECLUDE ESTABLISHING A "CHOKE" POINT.
- PLASTIC CLIPS OR METAL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTORS SHALL BE USED TO FASTEN AND SUPPORT GROUNDING CONDUCTORS. FERROUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUNDING CONDUCTOR SHALL NOT BE USED.
- STANDARD BUSS BARS (CIGBE AND MIGB) SHALL BE FURNISHED AND INSTALLED. THEY SHALL NOT BE FABRICATED OR MODIFIED IN THE FIELD.
- THE GROUNDING CONNECTION TO THE POWER AND TELCO SECTIONS OF THE PPC CABINET SHALL BE MADE BY CONNECTION A CONDUCTOR FROM THE GROUND RING TO THE FACTORY FURNISHED BUSS BAR IN EACH COMPARTMENT.
- THE CONTRACTOR SHALL SUPPLY VERTICAL BRIDGE WITH RESULTS FROM PRE-CONSTRUCTION (CO-LOCATION ONLY) AND POST-CONSTRUCTION OHM TESTING (GROUND) RESULTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A "FALL OF POTENTIAL" TEST ON THE NEW SUPPLEMENTAL GROUND FIELD PRIOR TO FINAL CONNECTION OF THE GROUNDING SYSTEM TO EQUIPMENT. THE TEST SHALL BE PERFORMED BY A QUALIFIED AND CERTIFIED TESTING AGENT, PROVIDE INDEPENDENT TEST RESULTS TO THE PROJECT MANAGER FOR REVIEW. THE GROUND SYSTEM RESISTANCE TO EARTH SHALL NOT EXCEED 5 OHMS. IF THE GROUND TEST EXCEEDS THE MAX. OF 5 OHMS, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL GROUND CONNECTIONS AS REQUIRED TO MEET THE 5 OHMS MAX.
- IF COAX ON ICE BRIDGE IS MORE THAN 6'-0" FROM A GROUND AB AT THE BASE OF THE TOWER, A SECOND GROUND BAR WILL BE NEEDED AT THE END OF THE ICE BRIDGE RUN TO GROUND THE COAX GROUND KIT AND THE IN-LINE SURGE ARRESTOR (SURGE ARRESTORS INSTALLED BY LUCENT ONLY HAVE A 6'-0" LEAD)
- CONTRACTOR SHALL REPAIR/REPLACE EXISTING GROUNDING SYSTEM COMPONENTS DAMAGED DURING CONSTRUCTION AT THE CONTRACTORS EXPENSE.

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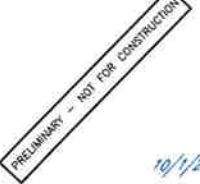
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GENERAL NOTES

SHEET NUMBER:	PROJECT #:	REVISION:
GN3	OKL00453	
BY: JWM	CKD BY: JWM	A


PROJECT NOTES

- ALL REFERENCES TO THE OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED VERTICAL BRIDGE OR ITS DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF OK.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE IBC 2015.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND THE THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND IT'S COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
- ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- IN APPLICABLE, ALL CONCRETE WORK SHALL COMPLY TO LOCAL CODES AND THE ACI 318-08, "BUILDING REQUIREMENTS FOR STRUCTURAL CONCRETE"
- 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY, OR CITY) ENGINEER.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- ALL TOWER DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
- ALL TOWER MODIFICATION WORK SHALL BE IN ACCORDANCE WITH TIA-1019-A STANDARD FOR INSTALLATION, ALTERATION AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS.

ABBREVIATIONS

A - AMPERE	PNL - PANEL
AFG - ABOVE FINISHED GRADE	PNLBD - PANEL BOARD
ATS - AUTOMATIC TRANSFER SWITCH	PVC - SCH 40 RIGID NON-METALLIC CONDUIT
AWG - AMERICAN WIRE GAUGE	RGS - RIGID GALVANIZED STEEL CONDUIT
BCW - BARE COPPER WIRE	SW - SWITCH
BFG - BELOW FINISHED GRADE	TGB - TOWER GROUND BAR
BKR - BREAKER	UL - UNDERWRITERS LABORATORIES
C - CONDUIT	V - VOLTAGE
CKT - CIRCUIT	W - WATTS
DISC - DISCONNECT	XFMR - TRANSFORMER
EGR - EXTERNAL GROUND RING	XMTR - TRANSMITTER
EMT - ELECTRIC METALLIC TUBING	
FSC - FLEXIBLE STEEL CONDUIT	
GEN - GENERATOR	
GPS - GLOBAL POSITIONING SYSTEM	
GRD - GROUND	
IGB - ISOLATED GROUND BAR	
IGR - INTERIOR GROUND RING (HALO)	
KW - KILOWATTS	
NEC - NATIONAL ELECTRIC CODE	
PCS - PERSONAL COMMUNICATION SYSTEM	
PH - PHASE	

LEGEND

---UGP---	UNDERGROUND ELECTRICAL CONDUIT
---UGT---	UNDERGROUND TELEPHONE CONDUIT
	KILOWATT - HOUR METER
-----	UNDERGROUND BONDING AND GROUNDING CONDUCTOR
●	GROUND ROD
▲	CADWELD
⊗	GROUND ROD WITH INSPECTION WELL
■	MECHANICAL CONNECTION

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13431 N. BROADWAY, SUITE 120
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COA #5499

SITE NAME:

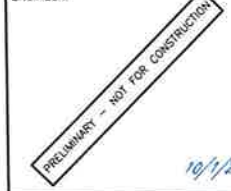
OWASSO 76TH

SITE NUMBER:

OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:



NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:	PROJECT #:	REVISION:
GN4	OKL00453	A
BY: JWM	CKD BY: JWM	

THESE DRAWINGS ARE NOT INTENDED TO REFLECT THE STRUCTURAL INTEGRITY OF THE TOWER. THE PROPOSED ANTENNAS AND TRANSMISSION LINES SHOWN ARE REPRESENTATIVE IN NATURE AND DO NOT REFLECT THE ACTUAL CONFIGURATIONS REQUIRED. THE CONTRACTOR SHALL REFER TO THE STRUCTURAL ANALYSIS OF THIS TOWER SITE FOR THE APPROVED LOCATION AND CONFIGURATION OF ALL ANTENNAS AND TRANSMISSION LINES. ALL ANTENNAS MUST BE MOUNTED AND THE TRANSMISSION LINES CONFIGURED IN STRICT ACCORDANCE WITH THE STRUCTURAL ANALYSIS. (TOWER BY OTHERS)

NOTES:
SUB-CONTRACTOR TO COMPLY WITH ALL FCC AND FAA REGULATIONS ON THIS PROJECT

NOTES:
NO MODIFICATION OF TOWER ADDITIONS SHALL BE MADE WITHOUT APPROVED STRUCTURAL ANALYSIS PREPARED BY OTHERS.

NOTES:
THESE DRAWINGS HAVE BEEN PREPARED TO DEPICT PROPOSED OVERALL TOWER HEIGHT DIMENSION AND SHALL NOT BE USED FOR CONSTRUCTION CONTRACTOR TO VERIFY TRUE HEIGHT WITH TAPE DROP

GENERAL CONTRACTOR TO OBTAIN LATEST RFDS BEFORE CONSTRUCTION FOR EQUIPMENT VERIFICATION

REFER TO STRUCTURAL ANALYSIS TO DETERMINE FEEDLINE PLACEMENT

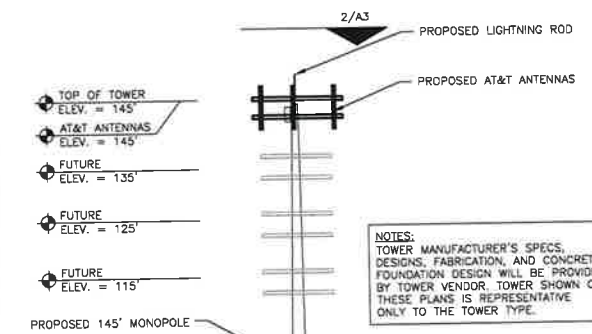
ALL STEEL SHALL BE HOT-DIPPED GALVANIZED

ANTENNA ARRAY MOUNTING HARDWARE MAY BE PROVIDED BY TOWER MANUFACTURER, CONTRACTOR TO BID SEPARATELY

REFER TO RFDS FOR ANTENNA MOUNTING HEIGHTS, MODEL NUMBER, AZIMUTHS, ETC.

NOTES:
GENERAL CONTRACTOR TO COMPLY WITH NTP PACKAGE PROVIDED BY TOWER OWNER

NOTES:
TOWER MANUFACTURER'S SPECS, DESIGNS, FABRICATION, AND CONCRETE FOUNDATION DESIGN WILL BE PROVIDED BY TOWER VENDOR. TOWER SHOWN ON THESE PLANS IS REPRESENTATIVE ONLY TO THE TOWER TYPE.



CABLE NOTE:
1. CABLE ATTACHMENTS SHOULD FOLLOW MANUFACTURER SPECIFICATIONS FOR ATTACHMENT AND HANGING SPECS.
2. ROUTE COAX UP TOWER PER STRUCTURAL ANALYSIS.

NOTES:
1. SIZE, HEIGHT AND DIRECTION OF THE ANTENNA SHALL BE ADJUSTED TO MEET AT&T SUPPLIED RFDS.
2. CONTRACTOR SHALL VERIFY HEIGHT AND DIRECTION OF ANY MICROWAVE DISHES WITH PROJECT MANAGER.
3. ALL ANTENNA AZIMUTH TO BE FROM TRUE NORTH.

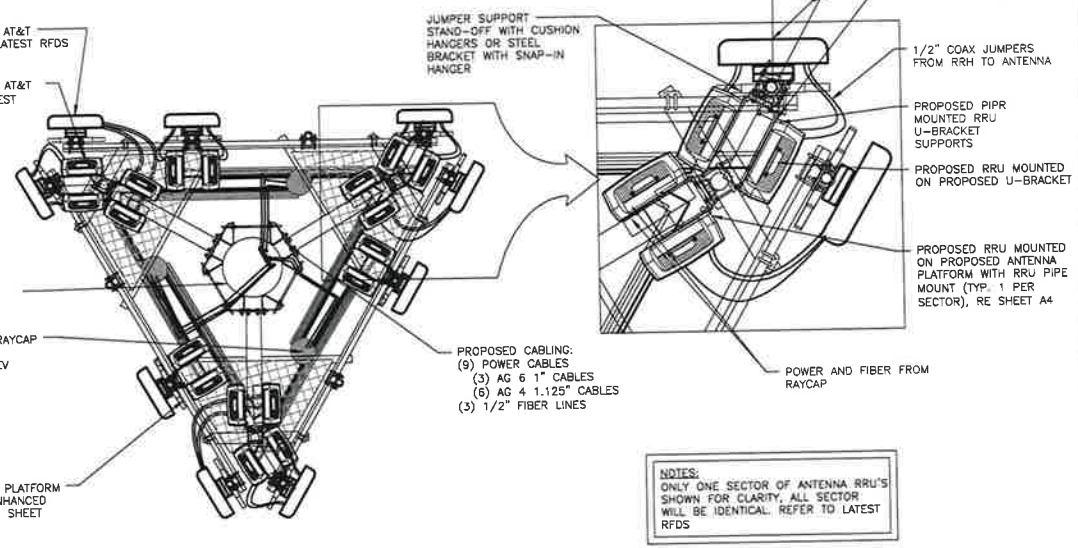
(9) PROPOSED AT&T ANTENNA RE: LATEST RFDS

(9) PROPOSED AT&T RRU's RE: LATEST RFDS

VERTICAL BRIDGE 145' MONOPOLE, RE: 2/A3

(3) PROPOSED AT&T RAYCAP SURGE SUPPRESSOR DC9-48-60-24-8C-EV RE: LATEST RFDS

PROPOSED 12' HD PLATFORM WITH COLLAR & ENHANCED SUPPORT RAIL, RE: SHEET A4



NOTES:
ONLY ONE SECTOR OF ANTENNA RRU'S SHOWN FOR CLARITY. ALL SECTOR WILL BE IDENTICAL. REFER TO LATEST RFDS

ANTENNA CABLE AND ACCESSORY NOTES AND REQUIREMENTS:

- GENERAL: PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY FOR RECEIVING, CONNECTIONS AT THE BASE TRANSMISSION SYSTEM (BTS). THIS SHALL INCLUDE ALL EQUIPMENTS SHOWN OR REQUIRED FOR A COMPLETE OPERATING SYSTEM. ANTENNA, ANTENNA CABLES, CONNECTORS, AND FITTING SHALL BE THIRD PARTY FURNISHED COMPONENTS AS SHOWN ON THE BILL OF MATERIALS.
- MATERIALS:
 - ANTENNA CABLES: AS SCHEDULED
 - ANTENNA CONNECTORS: AS SCHEDULED
 - CABLE HANGERS: INSTALLED A MAXIMUM 4' SPACING
 - GROUND KITS-AS SPECIFIED
- INSTALLATION:
 - ANTENNA CABLE LENGTHS SHALL BE FIELD MEASURED. INSTALLER SHALL NOTIFY AT&T PRIOR TO PURCHASE OF CABLES OF THE OVERALL LENGTH REQUIRED.
 - CABLES SHALL BE LABELED IN ACCORDANCE WITH AT&T ELECTRICAL MATERIALS AND METHODS SPECIFICATIONS.
 - ALL CABLE CONNECTIONS OUTSIDE SHALL BE COVERED WITH WEATHERPROOFING TAPE.
 - THE MINIMUM BENDING RADIUS FOR ALL ANTENNA CABLES SHALL BE AS SHOWN BELOW OR PER THE MANUFACTURER, WHICHEVER IS MORE CONSERVATIVE:

CABLE	IN AIR OR CABLE TRAY	IN CONDUIT
1/2"	5"	10"
7/8"	10"	18"
1 5/8"	20"	28"
 - CABLES SHALL BE INSTALLED WITH THE MINIMUM NUMBERS OF BENDS. CABLE SHALL NOT BE LEFT UN-TERMINATED IN THE FIELD.
 - GROUND KITS- AFTER INSTALLATION OF GROUND STRAPS, THE CONNECTIONS SHALL BE MADE WEATHER TIGHT USING WEATHERPROOF KITS AS IDENTIFIED ABOVE. GROUND PIGTAILS SHALL BE BROUGHT OUT IN THE DOWNWARD DIRECTION FROM THE CONNECTION TO THE ANTENNA CABLE WITHOUT ANY SHARP BENDS (MINIMUM RADIUS 10") AND CONNECTION SHALL BE MADE TO GROUNDING SYSTEM.

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COA #5498

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

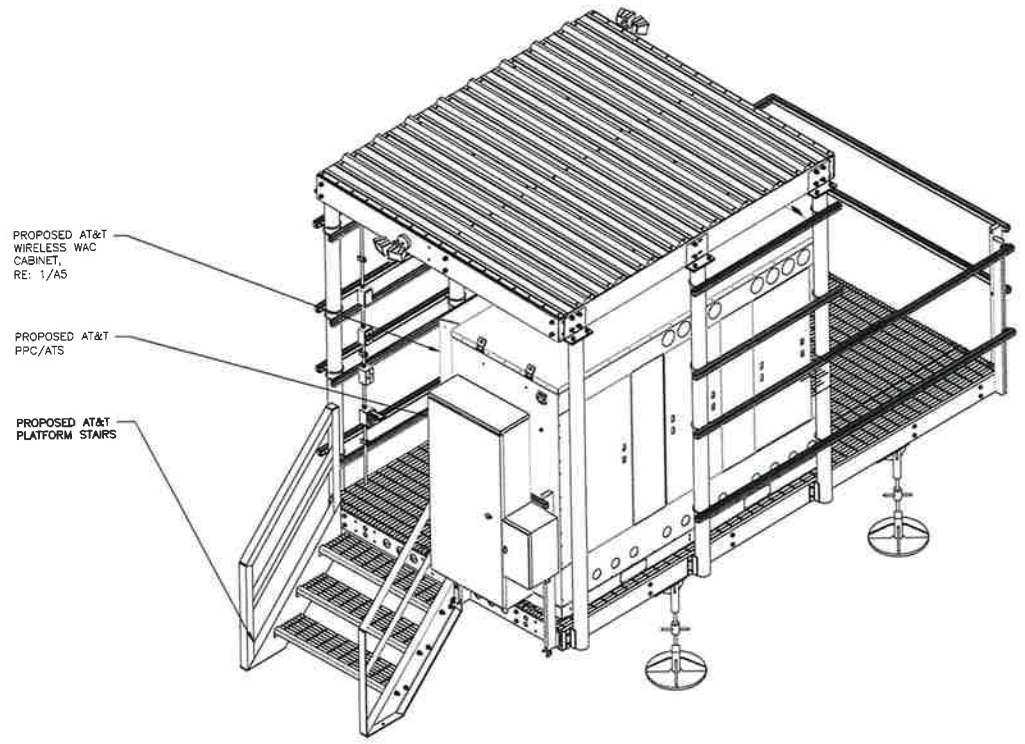
SHEET TITLE:
TOWER ELEVATION, ORIENTATION & DETAILS

SHEET NUMBER: A3	PROJECT #: OKL00453	REVISION: A
BY: JWM	CRD BY: JWM	

1 TOWER ELEVATION
SCALE: N.T.S.

2 TYPICAL ANTENNA AZIMUTH PLAN (TOP VIEW)
SCALE: N.T.S.

CBOA-2935 5.31
 10/17/21
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1 ELEVATED PLATFORM
SCALE: N.T.S.

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SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

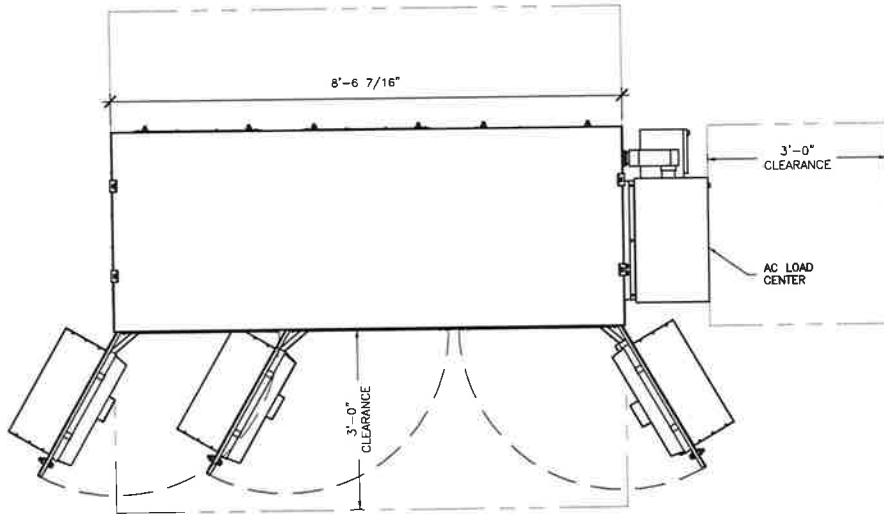
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10/17/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

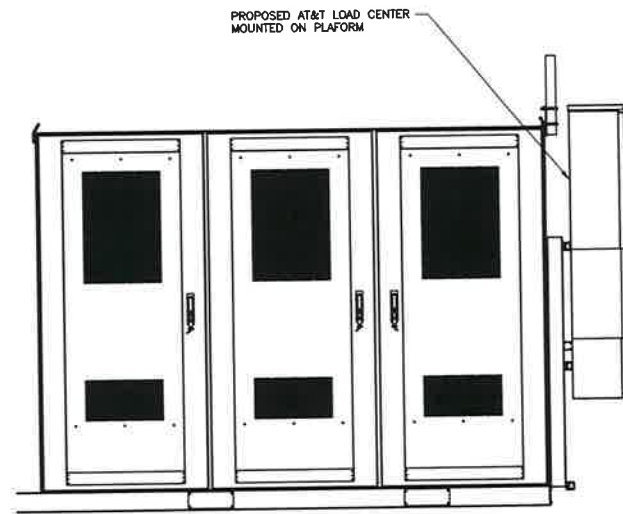
SHEET TITLE:
ELEVATED PLATFORM

SHEET NUMBER	PROJECT #	REVISION
A4	OKL00453	A
BY: JWM	CKD BY: JWM	



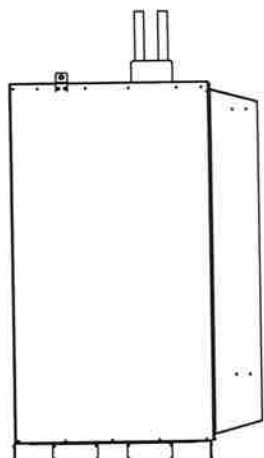
1 TYPICAL WALK UP CABINET PLAN VIEW

SCALE: 0 1 5



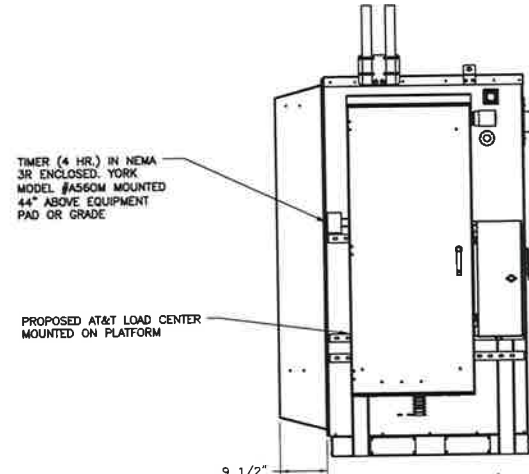
2 TYPICAL WALK UP CABINET FRONT ELEVATION

SCALE: 0 1 5



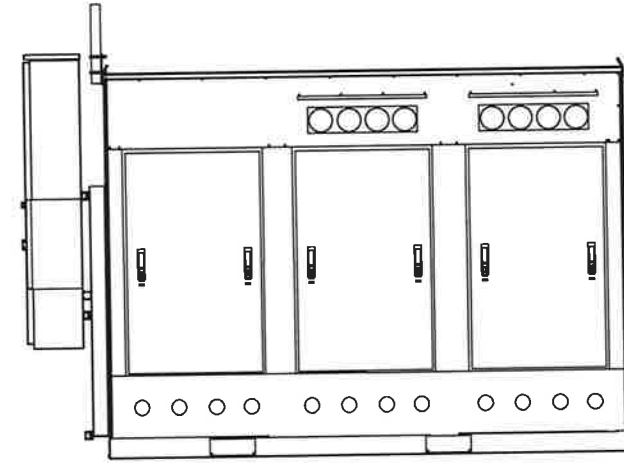
3 TYPICAL WALK UP CABINET SIDE ELEVATION

SCALE: 0 1 5



4 TYPICAL WALK UP CABINET SIDE ELEVATION

SCALE: 0 1 5



5 TYPICAL WALK UP CABINET BACK ELEVATION

SCALE: 0 1 5

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CRW COMPANIES LLC

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2700 S.W. THURMAN AVE #111-100
1111 S.W. OKLAHOMA AVE #111
918 948-1551

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OWASSO OK 74055

ENGINEER:

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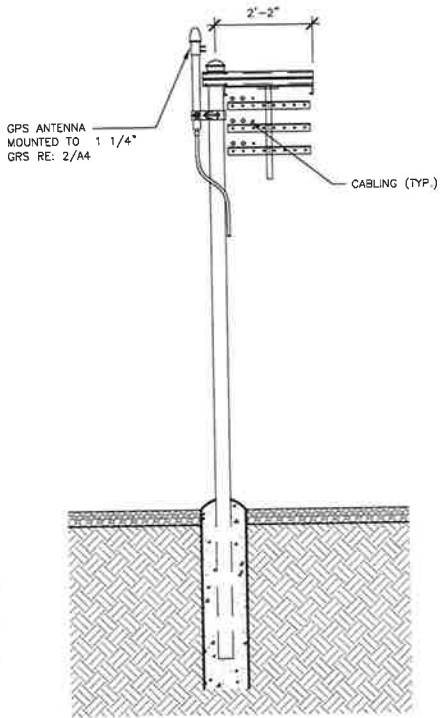
NO.	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
WUC DETAILS

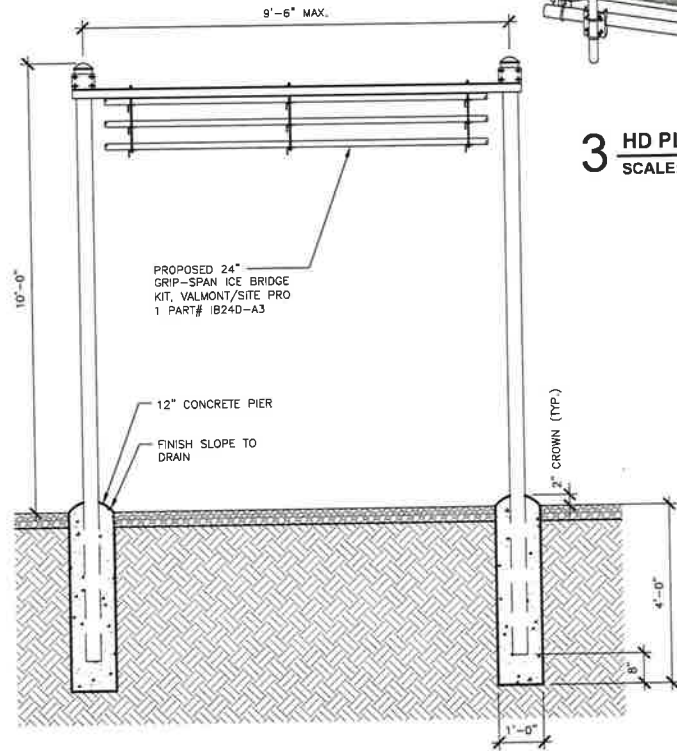
SHEET NUMBER	PROJECT #	REVISION
A5	OKL00453	A
BY: JWM	CKD BY: JWM	

CBOA-2935 5.32

CBOA-2935 5.33



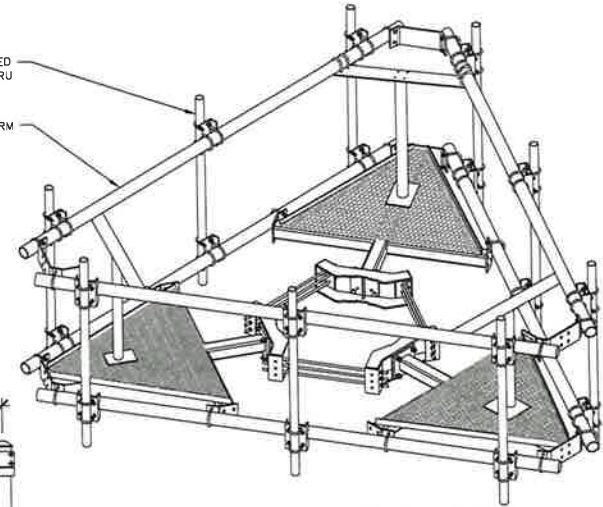
1 ICE BRIDGE DETAILS
SCALE: N.T.S.



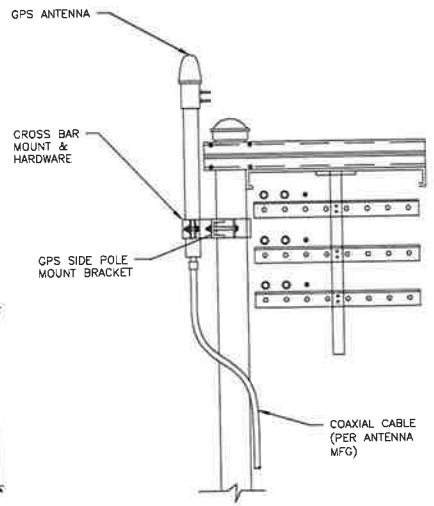
2 GPS ANTENNA MOUNTING DETAIL
SCALE: N.T.S.

ANTENNA PIPE TO BE RAISED
2'-0" TO ACCOMMODATE RRU
MOUNT

PROPOSED 12' HD PLATFORM
WITH COLLAR & ENHANCED
SUPPORT RAIL



3 HD PLATFORM WITH SUPPORT RAILS
SCALE: N.T.S.



VENDOR:



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CRB



COMPANIES LLC

CRB PARTNERS LLC
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ENGINEER:

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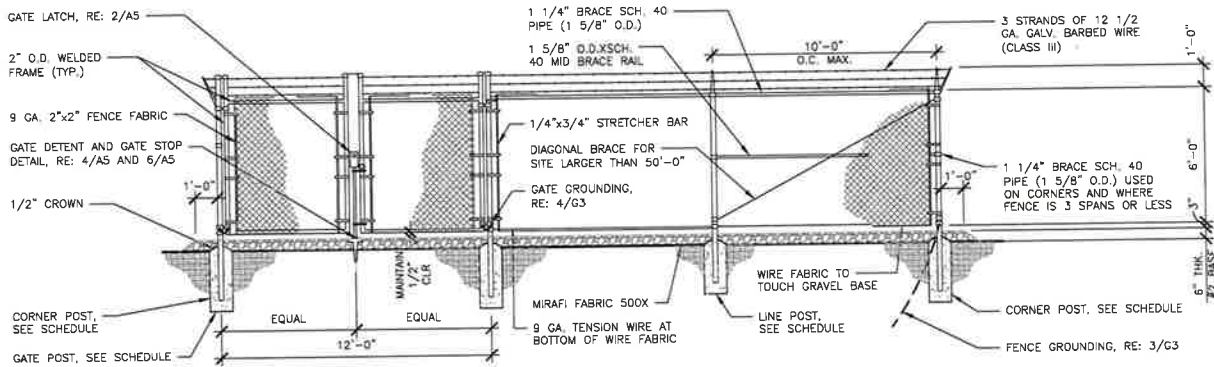
NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
WAVEGUIDE BRIDGE AND ANTENNA DETAILS

SHEET NUMBER: A6	PROJECT #: OKL00453	REVISION:
BY: JWM	CKD BY: JWM	A

REFER TO FENCING GENERAL NOTES TO GN2

CONCRETE WILL BE MIXED PRIOR TO INSERTION INTO FENCE POST HOLE

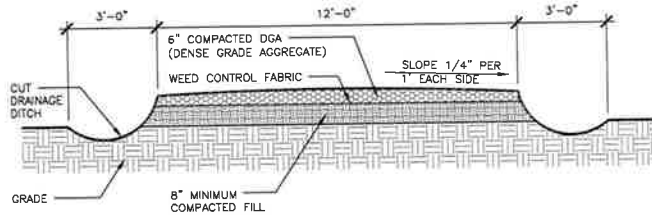


1 PROPOSED FENCING DETAIL

SCALE: N.T.S.

NOTE:

1. CONTRACTOR TO HAVE A VERTICAL BRIDGE REPRESENTATIVE TO VERIFY PREVENTATIVE WEED CONTROL MATERIAL HAS BEEN INSTALLED IN COMPOUND AND ACCESS ROAD PRIOR TO PLACEMENT OF ROCK AGGREGATE.

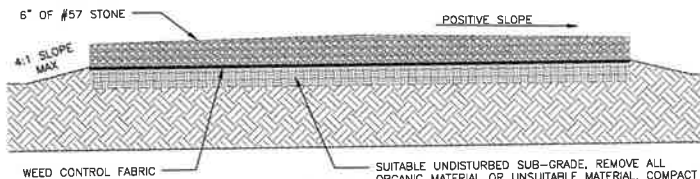


3 PROPOSED ROAD DETAIL

SCALE: N.T.S.

NOTE:

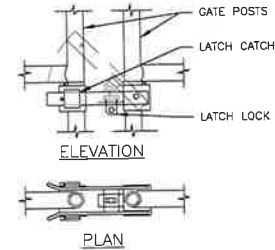
1. CONTRACTOR TO HAVE A VERTICAL BRIDGE REPRESENTATIVE TO VERIFY PREVENTATIVE WEED CONTROL MATERIAL HAS BEEN INSTALLED IN COMPOUND AND ACCESS ROAD PRIOR TO PLACEMENT OF ROCK AGGREGATE.



5 PROPOSED COMPOUND DETAILS

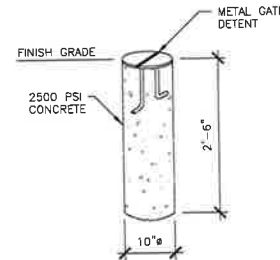
SCALE: N.T.S.

TYPICAL FENCING SIZES		
6' HIGH FENCE	SIZE	POST FOOTING
LINE POST	2 5/8"ø	9"ø X 48" DEEP
CORNER POST	4"ø	12"ø X 60" DEEP
GATE POST	4"ø	12"ø X 60" DEEP



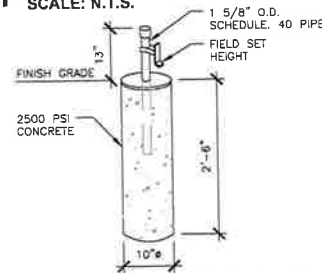
2 GATE LATCH DETAIL

SCALE: N.T.S.



4 GATE DETENT DETAIL

SCALE: N.T.S.



6 GATE STOP/KEEPER DETAIL

SCALE: N.T.S.

VENDOR:

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COMPANIES LLC

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(405) 946-4531

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ENGINEER:

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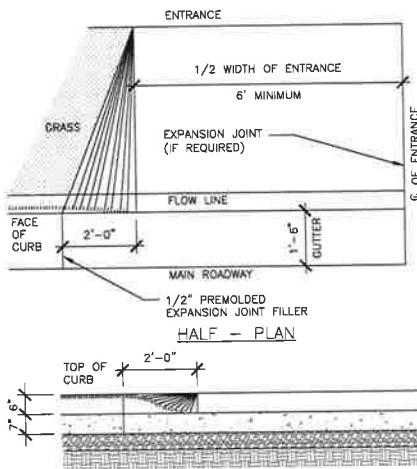
10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

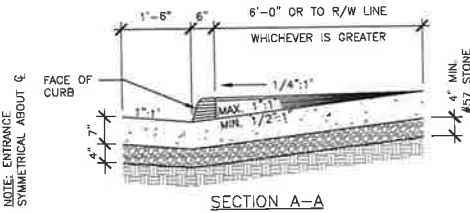
SHEET TITLE:
COMPOUND DETAILS

SHEET NUMBER	PROJECT #	REVISION
A7	OKLD0453	
BY: JWM	CKD BY: JWM	A

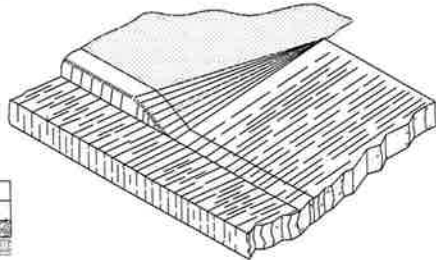
CBOA-2935 5.34



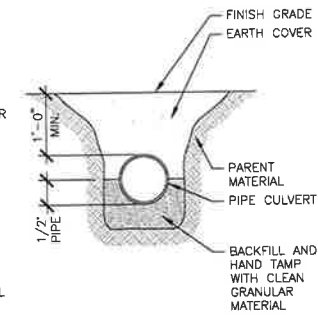
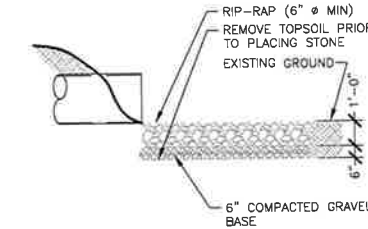
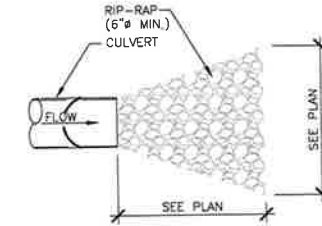
SECTION ELEVATION AT GUTTER LINE



SECTION A-A

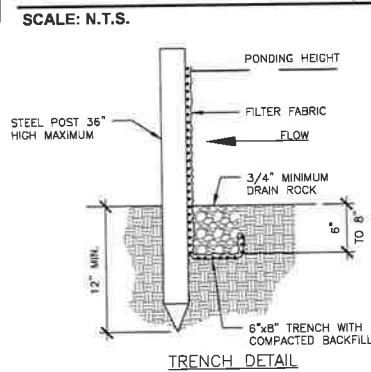


ISOMETRIC VIEW

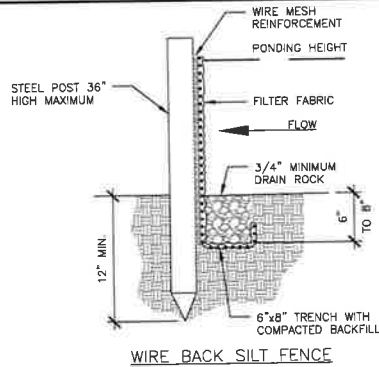


1 STANDARD ENTRANCE APRON (AS REQUIRED)
SCALE: N.T.S.

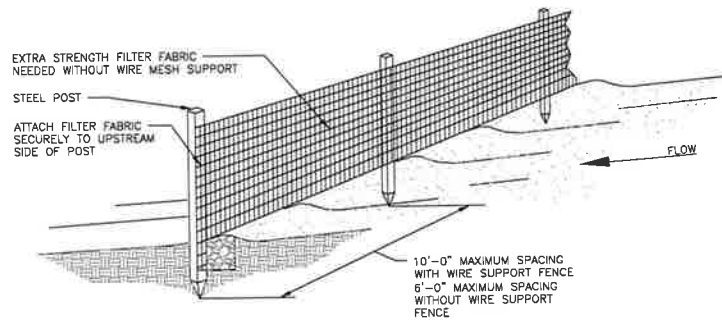
2 RIP-RAP DETAIL (IF REQUIRED)
SCALE: N.T.S.



TRENCH DETAIL



WIRE BACK SILT FENCE



INSPECTION AND MAINTENANCE:

SILT FENCE INSTALLATION:

1. THE FENCE SHOULD BE PLACED ACROSS THE SLOPE ALONG A LINE OF UNIFORM ELEVATION (PERPENDICULAR TO THE DIRECTION OF THE FLOW). THE FENCE SHOULD BE LOCATED AT LEAST 10' FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEAN OUT.
2. DRIVE THE STEEL POST AT LEAST 18" INTO THE GROUND, SPACING THEM NO FURTHER THAN 6'-0" APART.
3. POST SHOULD BE INSTALLED, WITH 1" TO 2" OF THE POST PROTRUDING ABOVE THE TOP IF THE FABRIC AND NO LESS THAN 3'-0" OF THE POST SHOULD PROTRUDE ABOVE THE GROUND. THE MINIMUM FENCE HEIGHT (HEIGHT OF FILTER ABOVE GRADE) SHALL BE 24". THE MAXIMUM FENCE HEIGHT (HEIGHT OF FILTER FABRIC ABOVE GRADE) SHALL BE 36".
4. THE FILTER FABRIC SHOULD BE PURCHASED IN A CONTINUOUS ROLL AND CUT TO LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHOULD BE WRAPPED TOGETHER ONLY AT A SUPPORT POST WITH BOTH ENDS SECURELY FASTENED TO THE POST, WITH A MINIMUM 6" OVERLAP.
5. EXTRA-STRENGTH FILTER CLOTH (50 POUND/LINEAR INCH MINIMUM TENSILE STRENGTH) SHOULD BE USED. A 2" WIDE LATHE SHALL BE STAPLED OVER THE FILTER FABRIC TO SECURELY FASTEN IT TO THE UPSLOPE SIDE OF THE POSTS. THE STAPLES USED SHOULD BE 1.5" HEAVY-DUTY WIRE, STAPLES SPACED AT A MAXIMUM OF 8" OVERLAP.
6. PLACE THE BOTTOM 16" OF THE FILTER FABRIC INTO THE 12" DEEP TRENCH, EXTENDING THE REMAINING 4" TOWARDS THE UPSIDE OF THE TRENCH AND BACK FILL THE TRENCH WITH SOIL OR GRAVEL AND COMPACTED.

1. INSPECT SILT FENCE EVERY SEVEN (7) DAYS WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2" OR MORE OF PRECIPITATION. CHECK FOR AREAS WHERE RUN-OFF HAS ERODED A CHANNEL BENEATH THE FENCE, OR WHERE THE FENCE WAS CAUSED TO SAG OR COLLAPSE BY RUNOFF OVER TOPPING THE FENCE.
2. IF THE FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY OTHER WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF THE FENCE IMMEDIATELY.
3. SEDIMENT MUST BE REMOVED WHEN IT REACHES APPROXIMATELY 1/3 OF THE HEIGHT OF THE FENCE, ESPECIALLY IF HEAVY RAINS ARE EXPECTED.
4. SILT FENCE SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BMPs ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHOULD BE REMOVED OR STABILIZED ON SITE. DISTURBED AREAS RESULTING FROM FENCE REMOVAL SHALL BE PERMANENTLY STABILIZED.
5. SILT FENCE MUST BE INSTALLED PROPERLY TO AVOID NOTICE OF VIOLATION.

3 SILT FENCE DETAIL (PER JURISDICTION)
SCALE: N.T.S.

VENDOR:

405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134

CRB COMPANIES LLC

CRB COMPANIES LLC
7700 N. FLEWELL AVE STE 300
OKLAHOMA CITY, OK 73114
(405) 449-4551

PRODUCED BY:

SPECIALTY TELECOMMUNICATIONS SERVICES, PLLC
PROFESSIONAL ENGINEERS AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

10/1/21

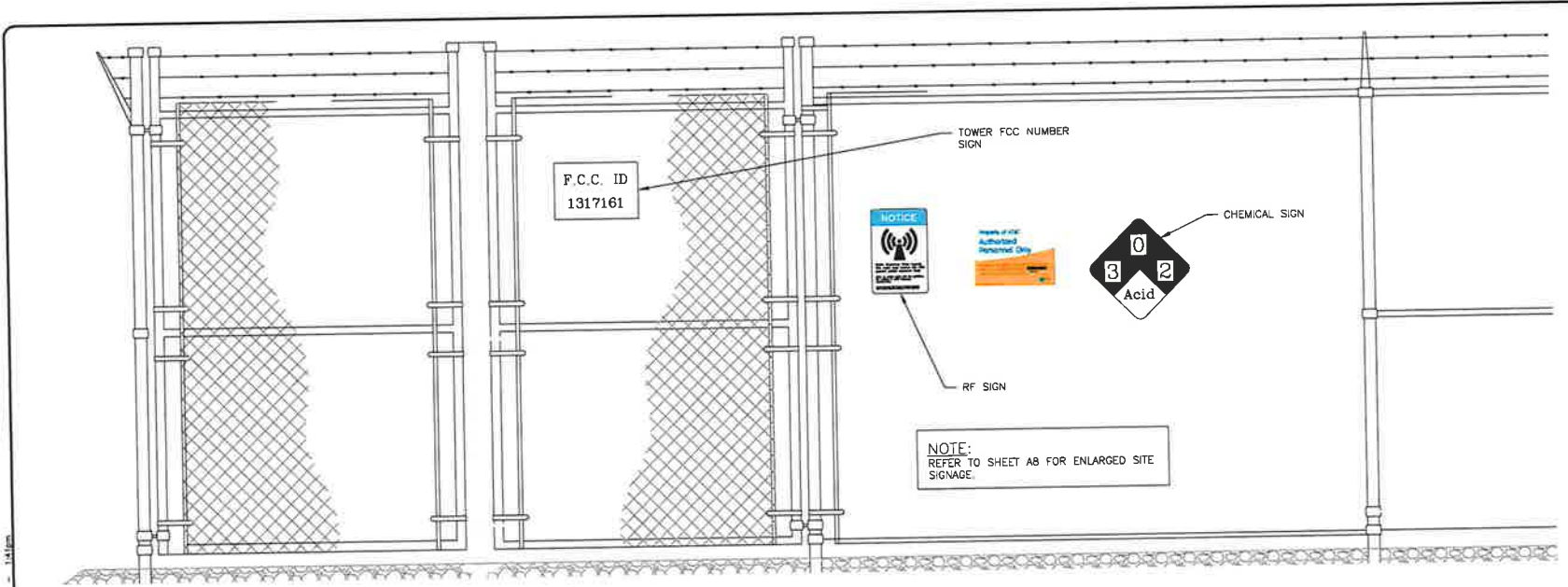
NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
CIVIL DETAILS

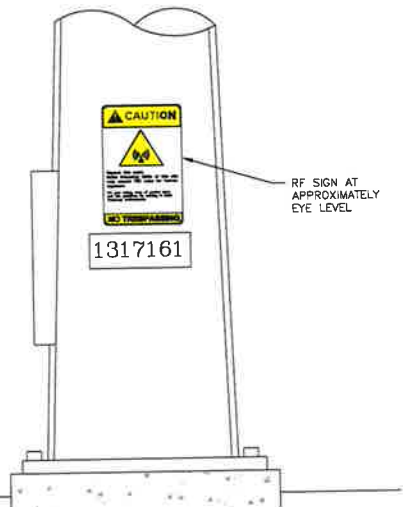
SHEET NUMBER: A8	PROJECT #: OKL00453	REVISION: A
BY: JWM	CHKD BY: JWM	

CBOA-2935 5.35

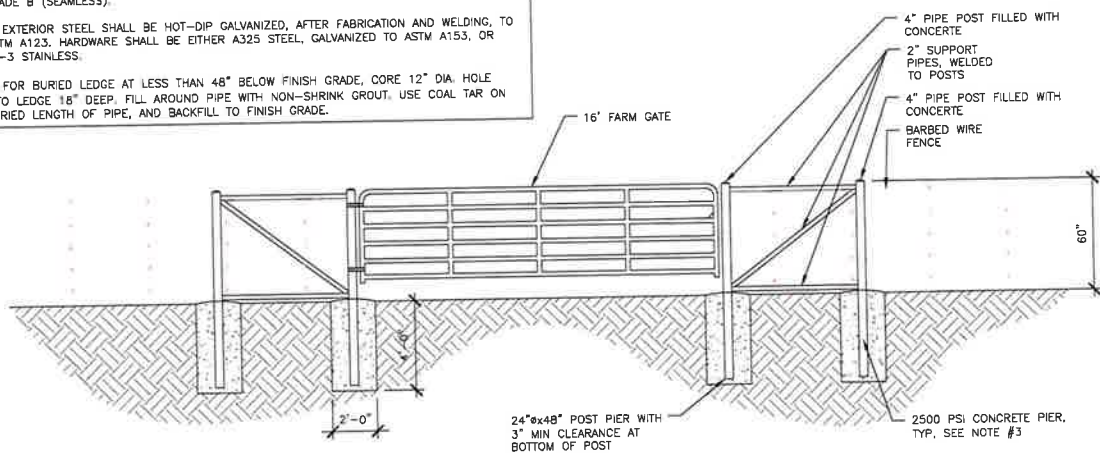
CBOA-2935 5.36



1 FENCING SIGN DETAIL
SCALE: N.T.S.



NOTES:
 1. STRUCTURAL STEEL SHALL BE ASTM A572. PIPE SHALL BE SCH 40 STEEL, ASTM A53, GRADE B (SEAMLESS).
 2. EXTERIOR STEEL SHALL BE HOT-DIP GALVANIZED, AFTER FABRICATION AND WELDING, TO ASTM A123. HARDWARE SHALL BE EITHER A325 STEEL, GALVANIZED TO ASTM A153, OR 18-3 STAINLESS.
 3. FOR BURIED LEDGE AT LESS THAN 48" BELOW FINISH GRADE, CORE 12" DIA. HOLE INTO LEDGE 18" DEEP. FILL AROUND PIPE WITH NON-SHRINK GROUT. USE COAL TAR ON BURIED LENGTH OF PIPE, AND BACKFILL TO FINISH GRADE.



2 TOWER SIGN DETAIL
SCALE: N.T.S.

3 ENTRY GATE DETAIL
SCALE: N.T.S.

VENDOR:

405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134

COMPANIES LLC

OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

PRODUCED BY:

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PROFESSIONAL ENGINEERS AND CONSULTANTS
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OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
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7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
SITE SIGNAGE

SHEET NUMBER: A9	PROJECT #: OKL00453	REVISION: A
BY: JWM	CHK BY: JWM	

INFORMATION

ACTIVE ANTENNAS ARE MOUNTED ON THE OUTSIDE OF THIS BUILDING BEHIND THIS PANEL ON THIS STRUCTURE

STAY BACK A MINIMUM OF 3 FEET FROM THESE ANTENNAS

Contact AT&T Mobility at 800-634-2822 and follow their instructions prior to performing any maintenance or repairs closer than 3 feet from the antennas.

This is AT&T Mobility site: OKL00453

FOR AT&T-OWNED CELL TOWERS AND OTHER-OWNED TOWERS WHERE AT&T MOBILITY IS PERMITTED TO POST RF SAFETY SIGNAGE, THE TYPICAL RF EXPOSURE SIGNAGE CONSISTS OF AN "INFORMATION" SIGN INSTALLED ON ENTRANCE GATES OR ADJACENT TO THE "CAUTION" SIGNS REQUIRED TO BE INSTALLED AT ACCESSES TO EACH CLIMBING LADDER AT THE TOWER. "INFORMATION" SIGNS ARE NO LONGER PERMITTED TO BE INSTALLED ON EQUIPMENT CABINETS OR BUILDINGS.

GLASS MAIN ENTRY DOORS MAY BE "BRANDED" WITH AT&T MOBILITY LOGO PROVIDING THIS IS NOT A LIGHTED / "MARQUEE" SIGN. IN CERTAIN CASES WHERE A SITE IS UNMANNED, EXTERIOR DOOR SIGNS MAY BE OMITTED TO PREVENT DRAWING UNDUE ATTENTION TO THE SITE. FOR THESE TYPES OF SITES, THE MARKET MAY ELECT TO HARDEN SECURITY IN A MORE INVISIBLE MANNER. IT IS THE RESPONSIBILITY OF THE MARKET TO MAKE PRUDENT DECISIONS FOR UNMANNED CORE SITES ON A CASE BY CASE BASIS

INFORMATION

AT&T Mobility reserves the right to modify the information on this sign without notice. Do not rely on this sign for safety. Stay away from antennas. Contact the nearest AT&T Mobility office for more information.

Contact AT&T Mobility at 800-634-2822 prior to performing any maintenance or repairs closer than 3 feet from the antennas.

This is AT&T Mobility site: OKL00453

INFORMACION

Se está implementando un sistema de seguridad en esta estación de radiofrecuencia. Manténgase alejado de las antenas. Contacte a la oficina de AT&T Mobility más cercana para obtener más información.


Contacte a la oficina de AT&T Mobility al 800-634-2822 antes de realizar cualquier mantenimiento o reparaciones más cercanas a 3 pies de las antenas de radiofrecuencia.

Este es el sitio de AT&T Mobility: OKL00453

Property of AT&T

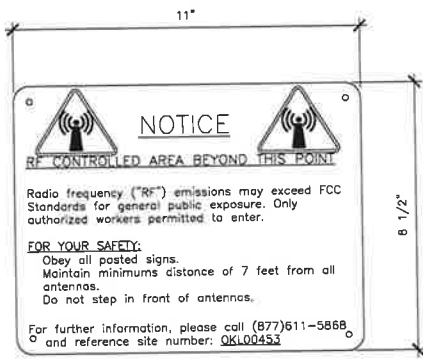
Authorized Personnel Only

In case of emergency, or prior to performing maintenance on this site, call 800-634-2822 and reference cell site number OKL00453




NOTES:

1. SIGNS TO BE MOUNTED ON THE OUTSIDE OF ACCESS GATE TO THE EXISTING COMPOUND



RF NOTICE SIGN
(WHITE METAL SIGN W/ BLACK LETTERING)

NOTICE



Radio frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307 (b)

3 SIGNAGE DETAIL
SCALE: N.T.S.

1 SIGNAGE DETAIL
SCALE: N.T.S.

2 SIGNAGE DETAIL
SCALE: N.T.S.


PRIVATE PROPERTY

NO TRESPASSING

VIOLATORS WILL BE PROSECUTED

4 SIGNAGE DETAIL
SCALE: N.T.S.

CAUTION



Beyond this point. Radio frequency fields at this site may exceed FCC rules for human exposure

For your safety, obey all posted signs and site guidelines for working in radio frequency environments.

NO TRESPASSING

5 TOWER SIGNAGE DETAIL
SCALE: N.T.S.

VENDOR:



405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134

CRB COMPANIES LLC

CRB COMPANIES LLC
7105 W. HILLVIEW AVE. SUITE 300
LITTLE ROCK, AR 72114
(501) 944-9551

PRODUCED BY:



SPECIALTY TELECOMMUNICATIONS SERVICES, PLLC
PROFESSIONAL ENGINEERS AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

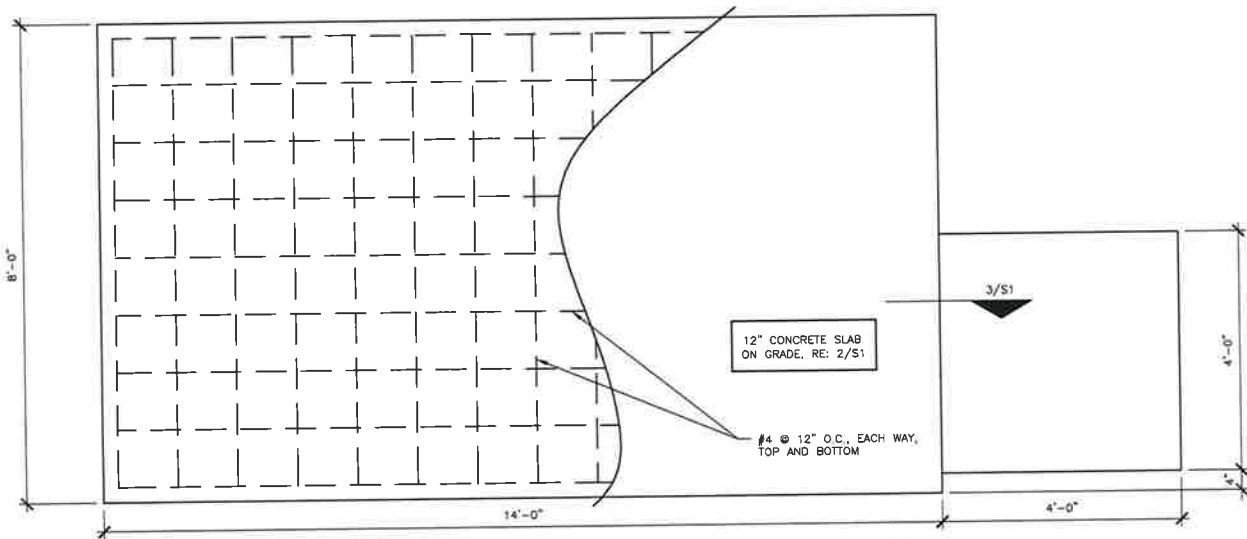
10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
SIGNAGE DETAILS

SHEET NUMBER	PROJECT #	REVISION
A10	OKL00453	A
BY: JWM	CKD BY: JWM	

CBOA-2935 5.38

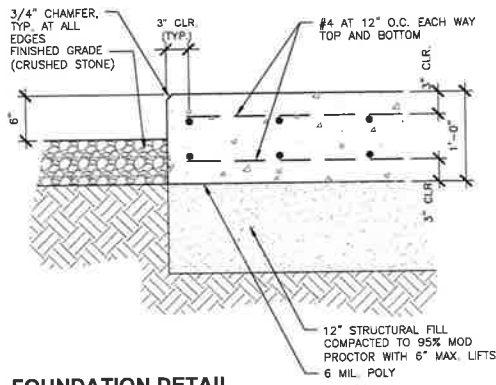


NOTES:

1. SLAB TO BE LEVEL $\pm 1/4"$.
2. SLAB FOUNDATION DESIGNED ASSUMING ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
3. SLAB FOUNDATION DESIGNED ASSUMING MAXIMUM SOIL PLASTICITY INDEX OF 27 PER NCBC.
4. CONCRETE STRENGTH FOR FOUNDATION DESIGN SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS.
5. FOOTINGS TO EXTEND BELOW UNDISTURBED SOIL PER SITE SPECIFIC DESIGN.
6. REFER TO THE GENERAL NOTES FOR ADDITIONAL NOTES.

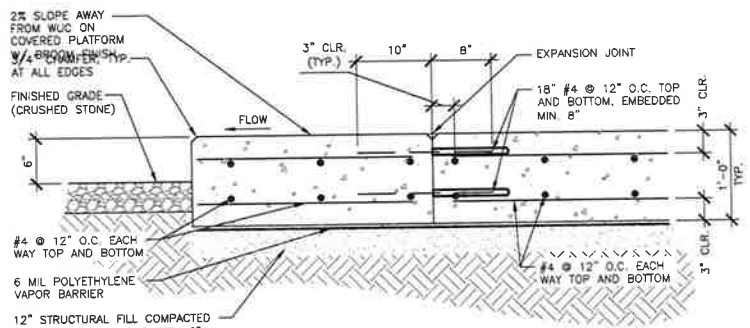
1 TYPICAL FOUNDATION PLAN

SCALE:



2 FOUNDATION DETAIL

SCALE: N.T.S.



3 WUC ON COVERED PLATFORM FOUNDATION AND STOOP DETAIL

SCALE: N.T.S.

VENDOR:

405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134

CRG COMPANIES LLC
2504 S. DELAWARE AVE. SUITE 300
TULSA, OKLAHOMA 74106
(918) 446-4531

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SPECIALTY TELECOMMUNICATIONS
SERVICES, PLLC
PROFESSIONAL ENGINEERS
AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
OWASSO 76TH

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OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

10/1/21

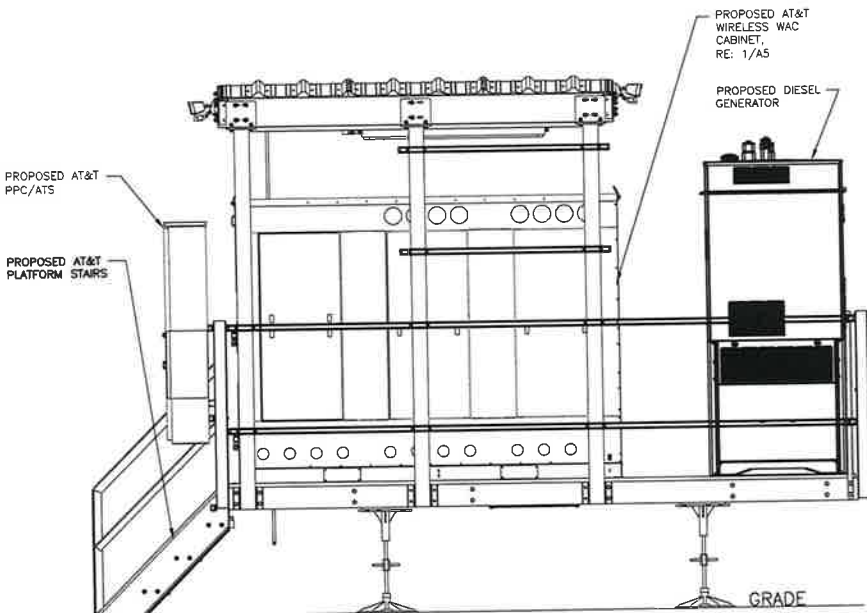
PRELIMINARY - NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

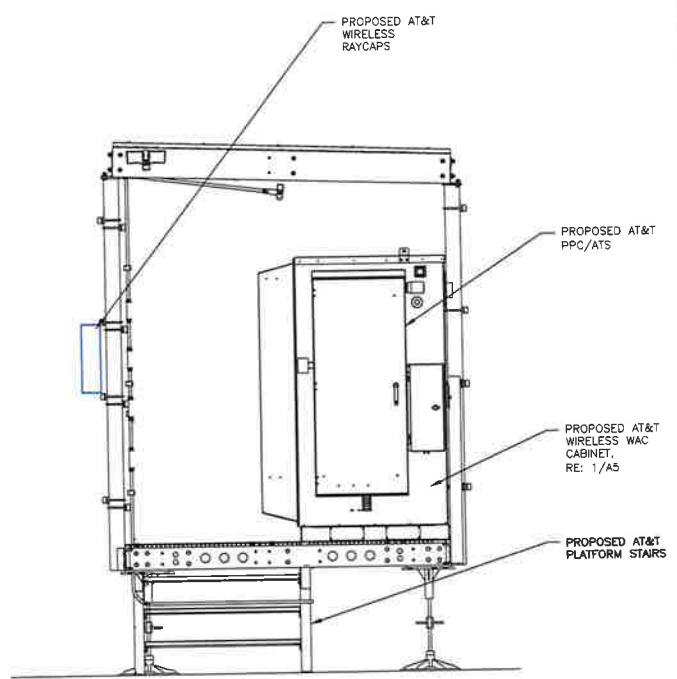
SHEET TITLE:
WUC FOUNDATION DETAILS

SHEET NUMBER	PROJECT #	REVISION
S1	OKL00453	
BY: JWM	CKD BY: JWM	A

CBOA-2935 5.39



1 PLATFORM ELEVATION
SCALE: N.T.S.



2 PLATFORM ELEVATION
SCALE: N.T.S.

VENDOR:



405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134



COMPANIES LLC
1135A OKLAHOMA 74106
(405) 948-2551

PRODUCED BY:



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SERVICES, PLLC
PROFESSIONAL ENGINEERS
AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
CCA #5498

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

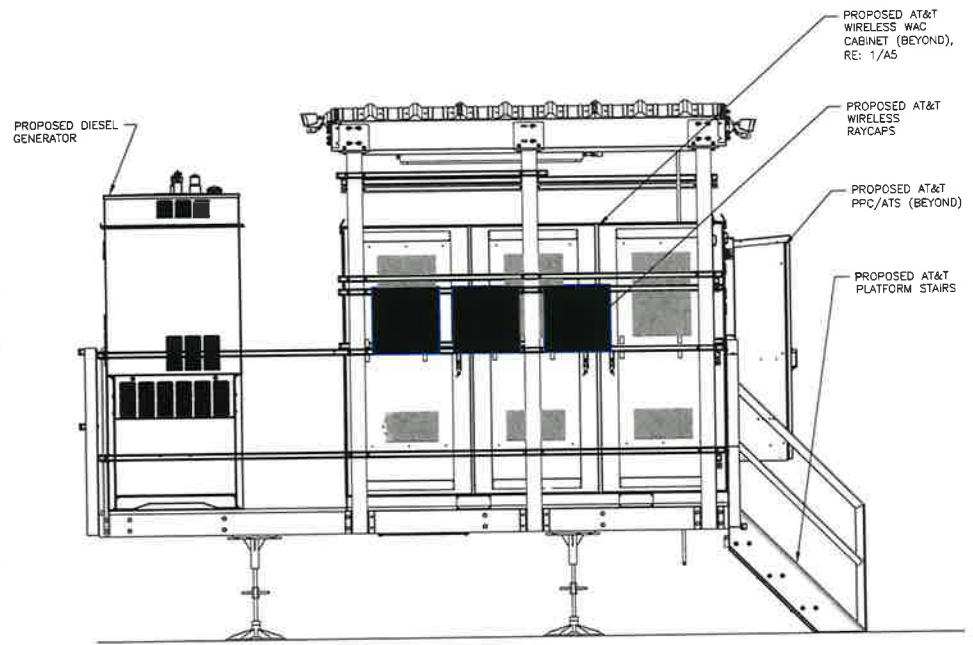
10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

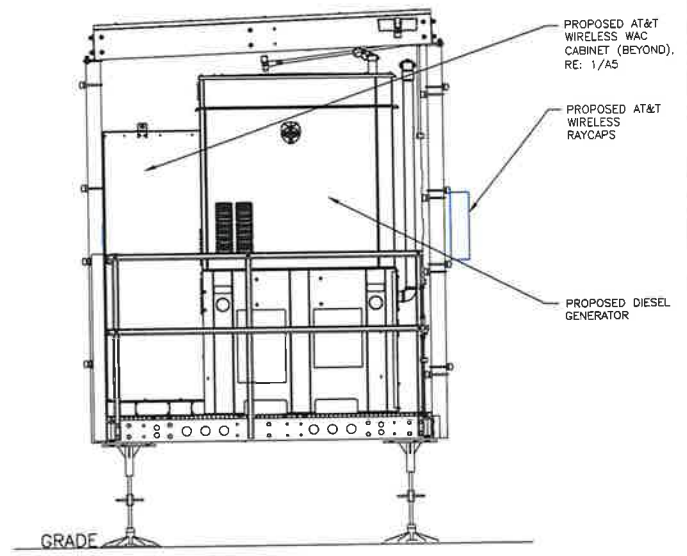
SHEET TITLE:
PLATFORM ELEVATIONS

SHEET NUMBER: S2	PROJECT #: OKL00453	REVISION: A
BY: JWM	CKD BY: JWM	

CBOA-2935 5.40



1 PLATFORM ELEVATION
SCALE: N.T.S.



2 PLATFORM ELEVATION
SCALE: N.T.S.

VENDOR:



405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134



CRB COMPANIES LLC
715 N W 111 ST
TULSA, OKLAHOMA 74106
(918) 444-4331

PRODUCED BY:



SPECIALTY TELECOMMUNICATIONS SERVICES, PLLC
PROFESSIONAL ENGINEERS AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
PLATFORM ELEVATIONS

SHEET NUMBER:	PROJECT #:	REVISION:
S3	OKL00453	A
BY: JWM	CKD BY: JWM	

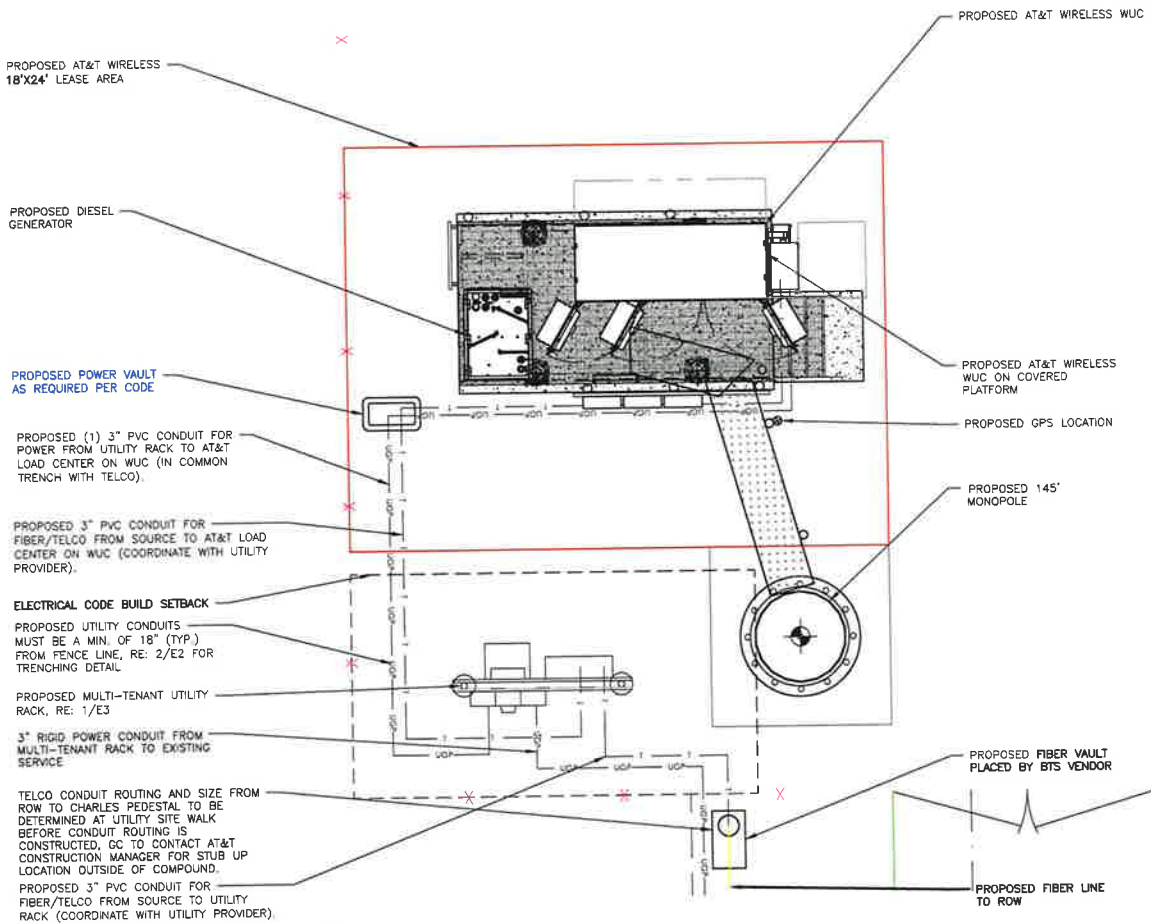
FOR WIRING & PROGRAMING SEE SHEET E2

NOTES:

1. CONTRACTOR TO STUB-UP REQUIRED CONDUITS PRIOR TO POURING CONCRETE PER EQUIPMENT CABINET INSTRUCTIONS.

NOTES:
MASTER ELECTRICIAN TO VERIFY SOURCES OF POWER & TELCO

NOTES:
CONTRACTOR TO ADD PULL STRINGS TO ALL NEW CONDUITS



1 UTILITY ROUTING PLAN

SCALE: 0 5 10 15 20



VENDOR:

405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134

CRP COMPANIES LLC
7845 NORTH LEAVENWORTH BLVD
OKLAHOMA CITY, OK 73114
(405) 949-1931

PRODUCED BY:

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13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

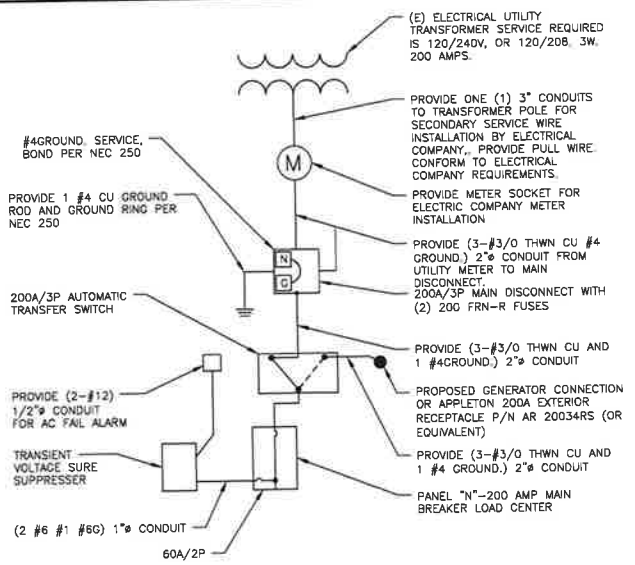
10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
UTILITY PLAN AND DETAILS

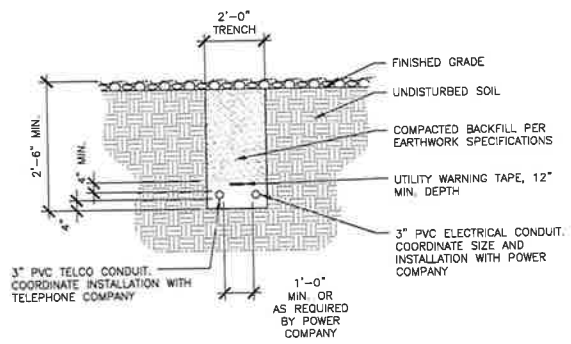
SHEET NUMBER	PROJECT #	REVISION
E1	OKL00453	A
BY: JWM	CKD BY: JWM	

CBOA-2935 5.41

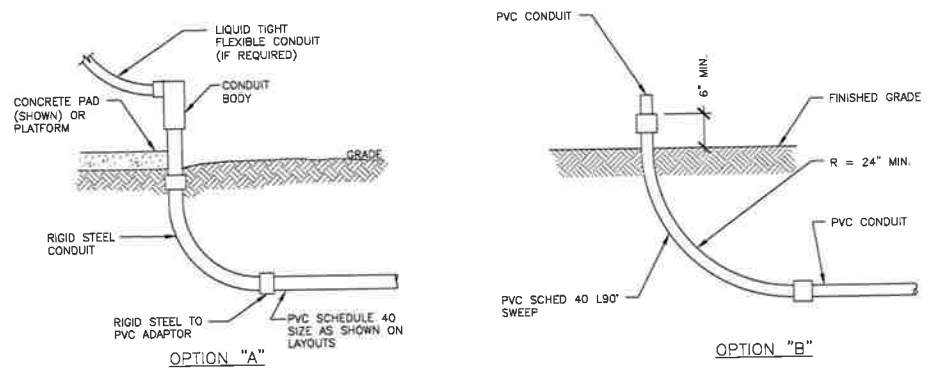


1 ONE LINE DIAGRAM
SCALE: N.T.S.

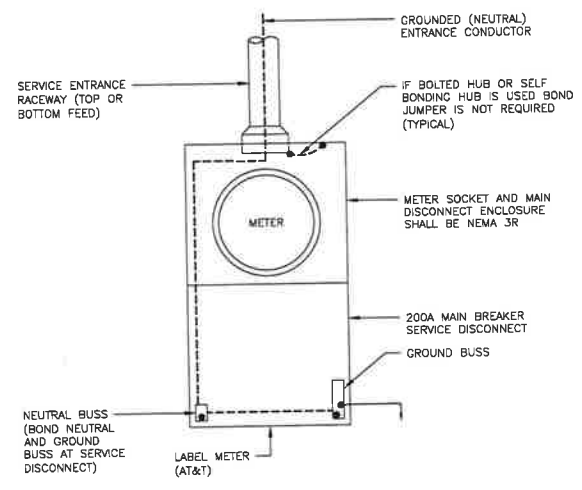
DETAIL PROVIDED BY OWNER



2 TRENCH DETAIL
SCALE: N.T.S.



3 CONDUIT DETAILS
SCALE: N.T.S.



4 SERVICE ENTRANCE GROUNDING
SCALE: N.T.S.

VENDOR:

405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134

COMPANIES LLC

OKLAHOMA CITY, OKLAHOMA

PRODUCED BY:

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PROFESSIONAL ENGINEERS AND CONSULTANTS
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OKLAHOMA CITY, OK 73114
(405) 753-7167
CGA #5498

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

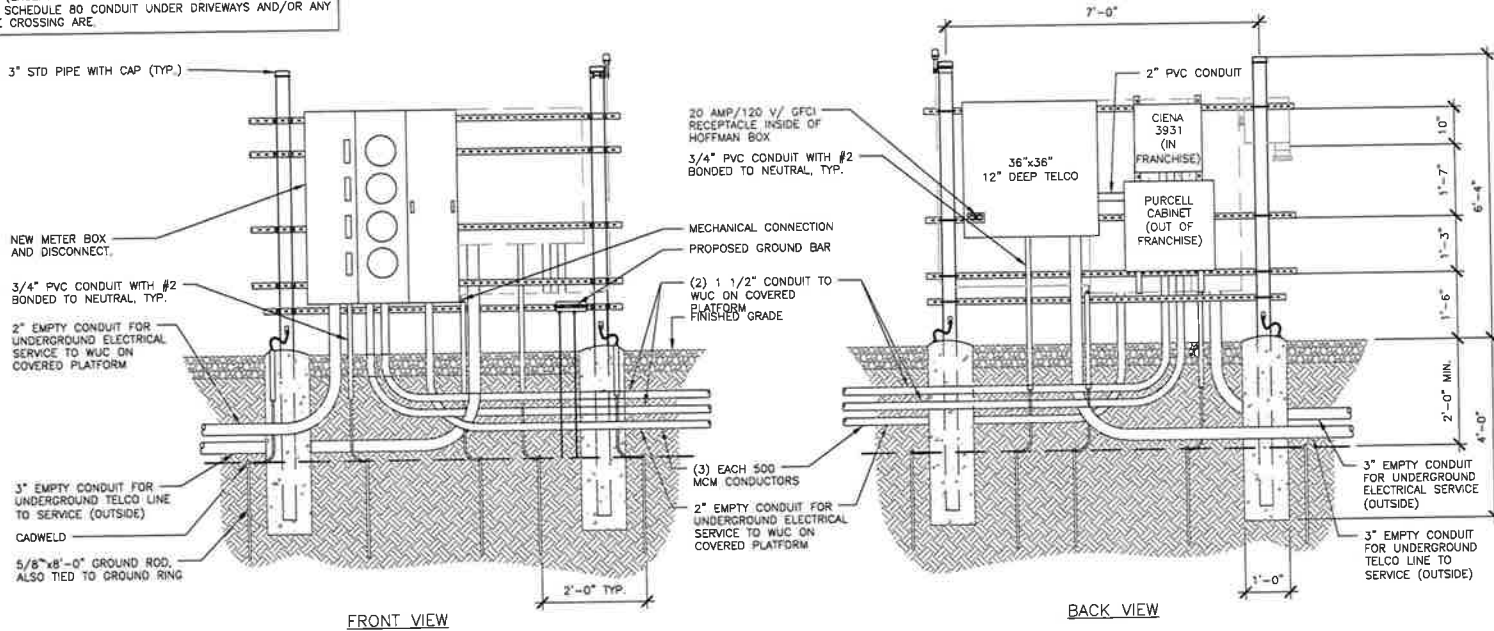
SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER: E2	PROJECT #: OKL00453	REVISION:
BY: JWM	CRD BY: JWM	A

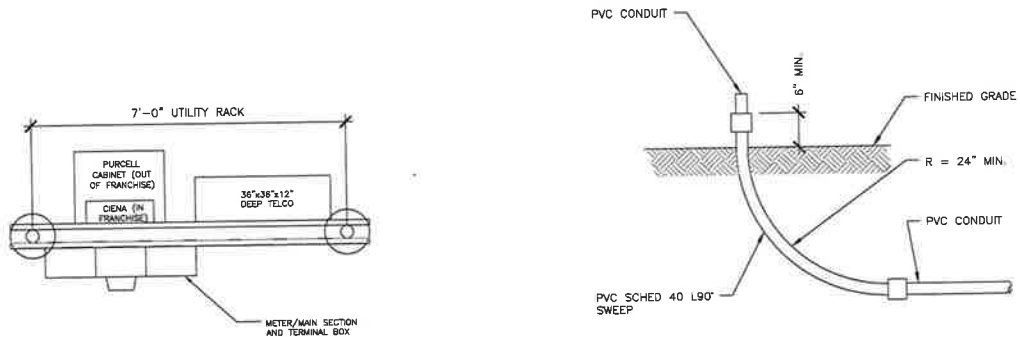
CBOA-2935 5.42

NOTES:
 1. ALL EXPOSED ELECTRICAL CONDUIT MUST BE RIGID.
 2. THREADLESS CONNECTORS ARE NOT ALLOWED.
 3. USE SQUARE "D" 200A FUSIBLE DISCONNECT.
 4. EMT CONDUIT CAN ONLY BE USED INSIDE.
 5. USE ONLY COMPRESSION TYPE FITTINGS ON EMT CONDUIT.
 6. USE ONLY STRANDED CONDUCTORS FOR ALL ELECTRICAL WIRING. (EXCEPT TELCO AND THERMOSTAT).
 7. USE SCHEDULE 80 CONDUIT UNDER DRIVEWAYS AND/OR ANY VEHICLE CROSSING ARE.

ELECTRICAL COMPANY NOTE:
 ELECTRICAL PROVIDER SHALL COORDINATE WITH VERTICAL BRIDGE CONSTRUCTION MANAGER TO DETERMINE TOTAL AMOUNT OF AMPS THAT WILL BE PROVIDED TO PROPOSED UTILITY RACK.



1 FOUR GANG UTILITY RACK ELEVATIONS
 SCALE: N.T.S.



2 UTILITY RACK PLAN
 SCALE: N.T.S.

3 CONDUIT DETAIL
 SCALE: N.T.S.

VENDOR:

 405 N BROADWAY, 7TH FLOOR
 OKLAHOMA CITY, OK 73102
 PH: (405) 529-8134

COMPANIES LLC
 2534 SOUTHWEST AVE STE 800
 TULSA OKLAHOMA 74106
 (918) 948-0331

PRODUCED BY:

 SPECIALTY TELECOMMUNICATIONS SERVICES, PLLC
 PROFESSIONAL ENGINEERS AND CONSULTANTS
 13431 N. BROADWAY, SUITE 120
 OKLAHOMA CITY, OK 73114
 (405) 753-7167
 COA #5498

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
 7847 N 71ST E AVE
 OWASSO OK 74055

ENGINEER:
 PRELIMINARY - NOT FOR CONSTRUCTION
 10/1/21

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
UTILITY RACK DETAILS

SHEET NUMBER: E3	PROJECT #: OKL00453	REVISION:
BY: JWM	CKD BY: JWM	A

CBOA-2935 5.43

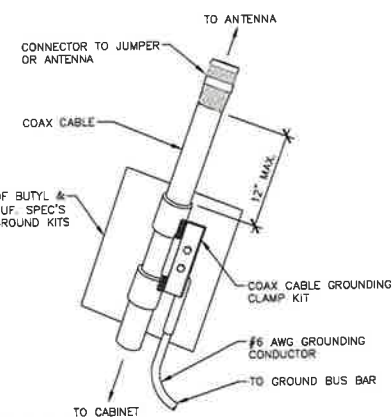
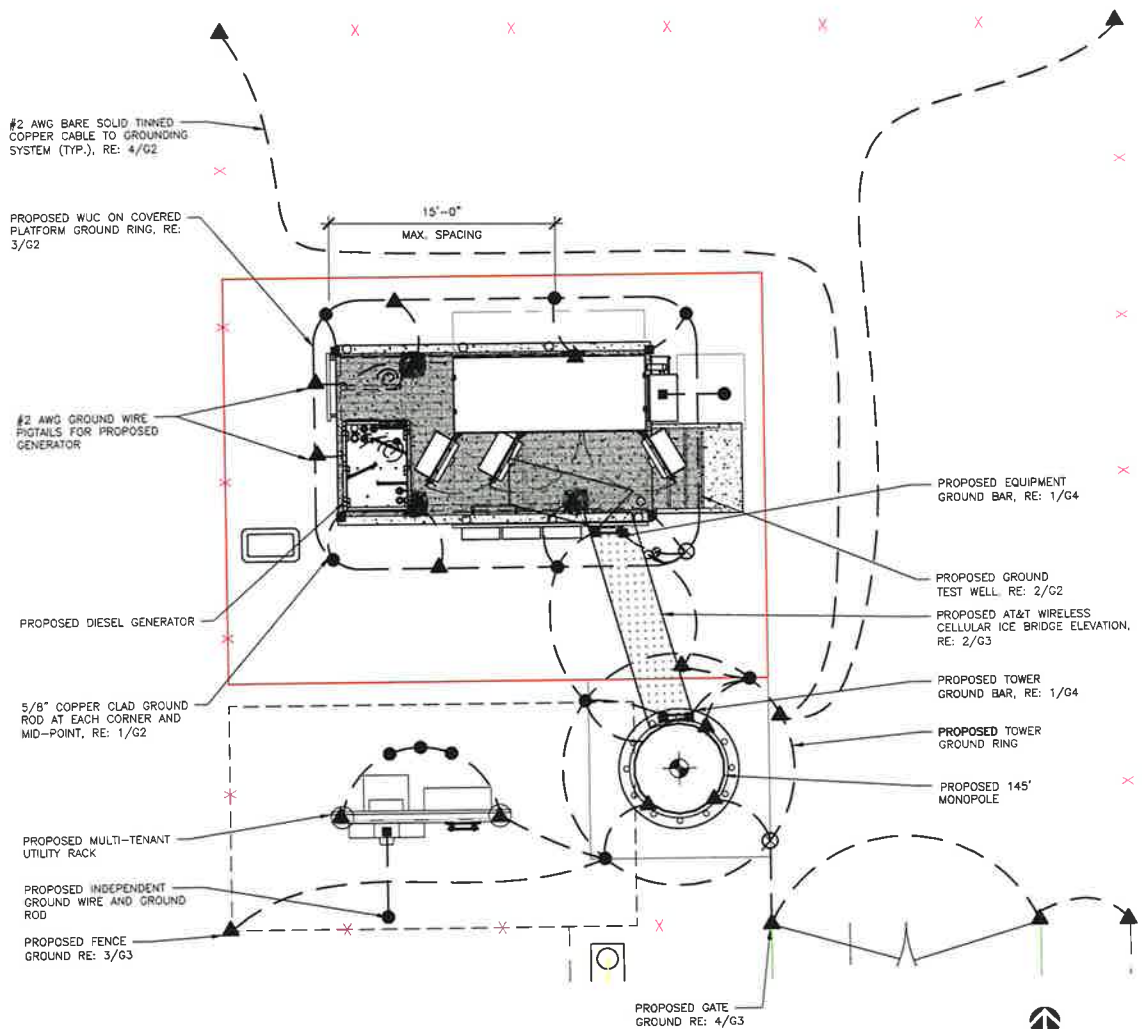
RE: 5/G2 FOR TYPICAL CADWELD DETAILS

GROUNDING LEGEND:

SYMBOL	DESCRIPTION
▲	EXOTHERMIC WELD (CADWELD)
■	#2 AWG BCW MECHANICAL CONNECTION
⊗	#2 STRANDED INSULATED (FROM EQUIPMENT TO MGB)
⊙	GROUND TEST WELL AT GROUND ROD
●	CHAIN LINK FENCE
●	5/8"x8'-0" COPPER CLAD GROUND ROD AT 15'-0" MAX. SPACING, PER CM

GROUNDING NOTES:

- CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 2 FEET BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 15'-0" CENTERS (PROVIDE AND INSTALL AS REQUIRED PER PLAN BELOW).
- BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
- GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
- CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE AND INSTALL GROUNDING CONNECTIONS SHOWN BELOW AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
- BOND GROUND BAR TO EXTERNAL GROUND RING WITH 1 RUN OF #2 BARE, TINNED, SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
- ALL DOWN CONDUCTORS MUST GO DOWN.



1 COMPOUND GROUNDING PLAN
SCALE: 0 5 10 15 20



2 CONNECTION OF CABLE GROUND KIT TO ANTENNA CABLE
SCALE: N.T.S.

VENDOR:

405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134

CRF
COMPANIES LLC

1135 S. UNIVERSITY BLVD
OKLAHOMA CITY, OK 73106
(405) 940-1530

PRODUCED BY:

SPECIALTY TELECOMMUNICATIONS SERVICES, PLLC
PROFESSIONAL ENGINEERS AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

10/1/21

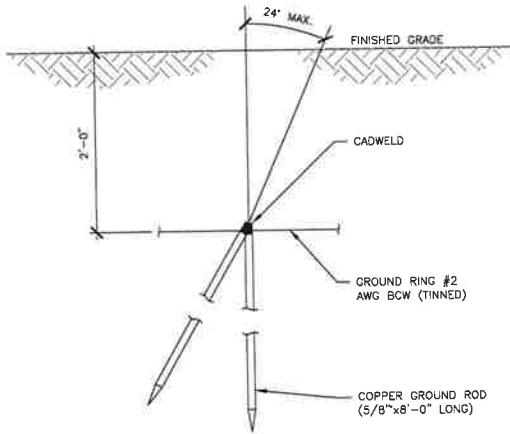
NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE: **COMPOUND GROUNDING PLAN**

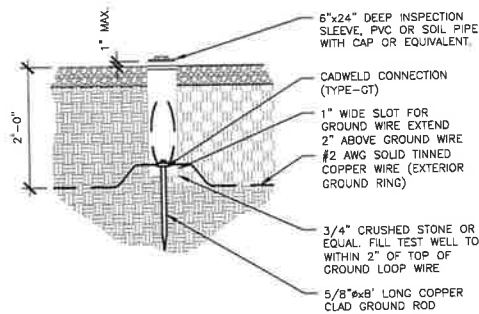
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BY: **JWM** CKD BY: **JWM**

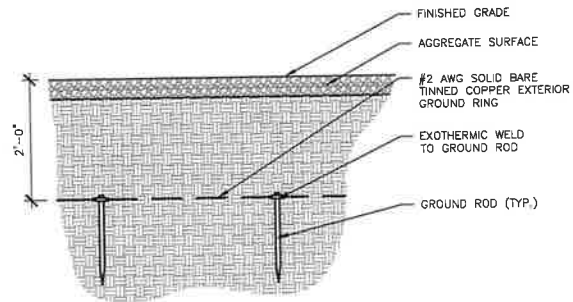
CBOA-2935 5.44



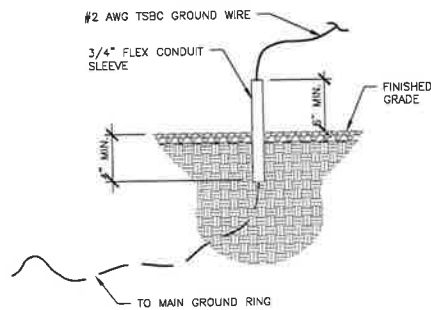
1 ANTENNA CABLE GROUNDING DETAIL
SCALE: N.T.S.



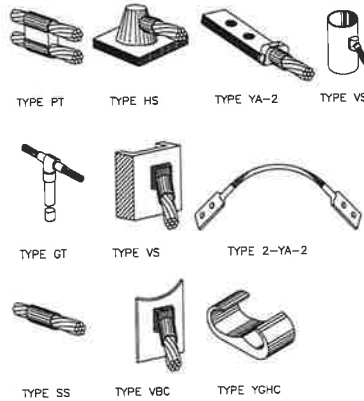
2 GROUND TEST WELL DETAIL
SCALE: N.T.S.



3 GROUND RING DETAIL
SCALE: N.T.S.



4 STUB UP DETAIL
SCALE: N.T.S.



5 TYPICAL CADWELD DETAILS
SCALE: N.T.S.

VENDOR:



405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134



CRB COMPANIES LLC
2200 N. BROADWAY, SUITE 400
OKLAHOMA CITY, OK 73102
(405) 949-4351

PRODUCED BY:



SPECIALTY TELECOMMUNICATIONS
SERVICES, PLLC
PROFESSIONAL ENGINEERS
AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

10/1/21

PRELIMINARY - NOT FOR CONSTRUCTION

NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER	PROJECT #	REVISION
G2	OKL00453	
BY: JWM	CKD BY: JWM	A

CBOA-2935 5.45

VENDOR:



405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134



CRS COMPANIES LLC
200 NORTH STEAK AVE 4TH FLOOR
TULSA, OKLAHOMA 74103
(918) 949-4331

PRODUCED BY:



SPECIALTY TELECOMMUNICATIONS
SERVICES, P.L.L.C.
PROFESSIONAL ENGINEERS
AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
OWASSO 76TH

SITE NUMBER:
OKL00453

SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

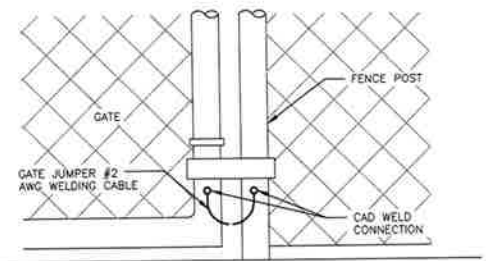
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10/1/21

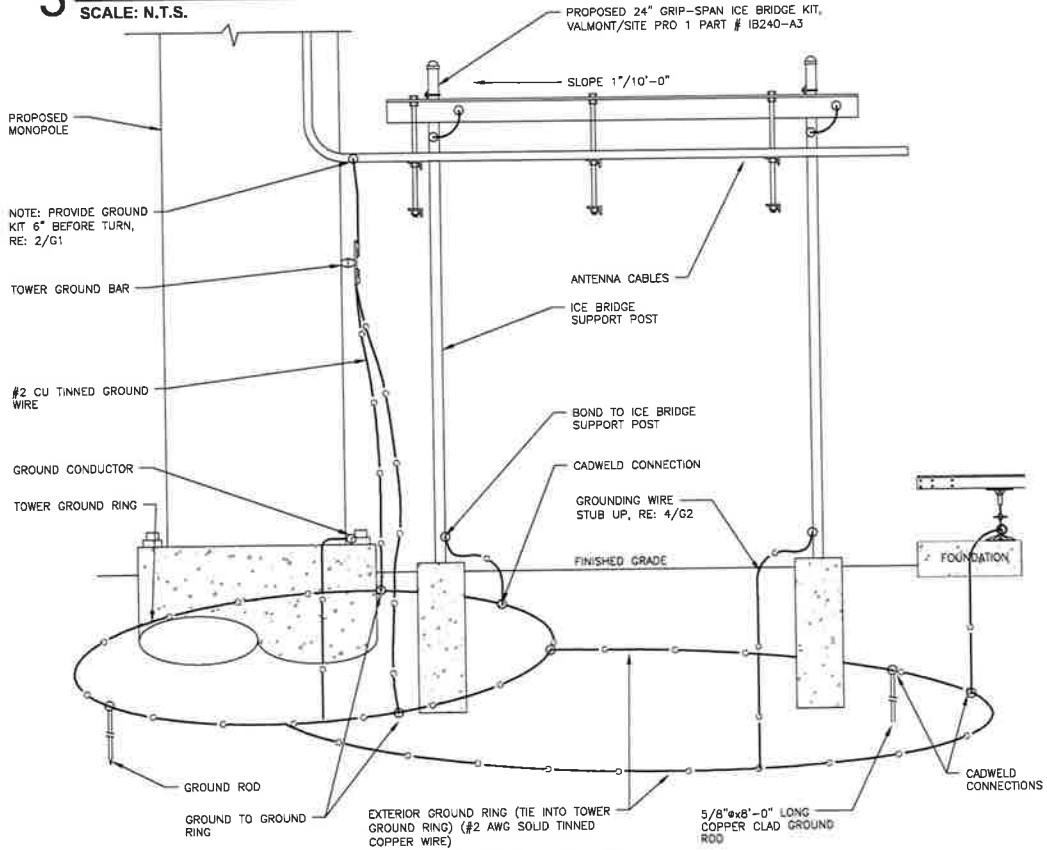
NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
GROUNDING DETAILS

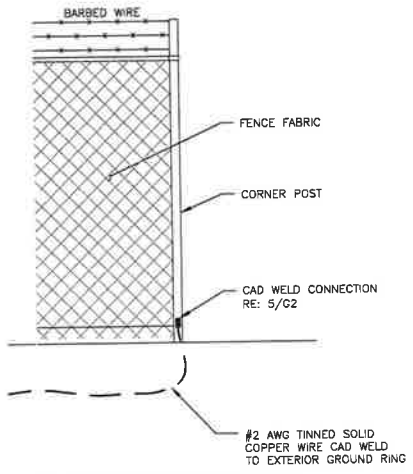
SHEET NUMBER:	PROJECT #:	REVISION:
G3	OKL00453	A
BY: JWM	CKD BY: JWM	



3 TYPICAL GATE GROUNDING
SCALE: N.T.S.



1 TYPICAL ICE BRIDGE AND ANTENNA CABLE DETAIL
SCALE: N.T.S.



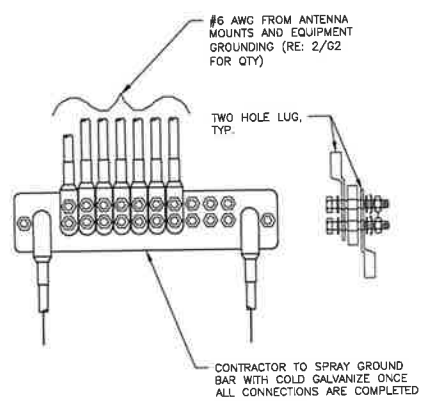
2 FENCE GROUNDING DETAIL
SCALE: N.T.S.

CBOA-2935 5.46

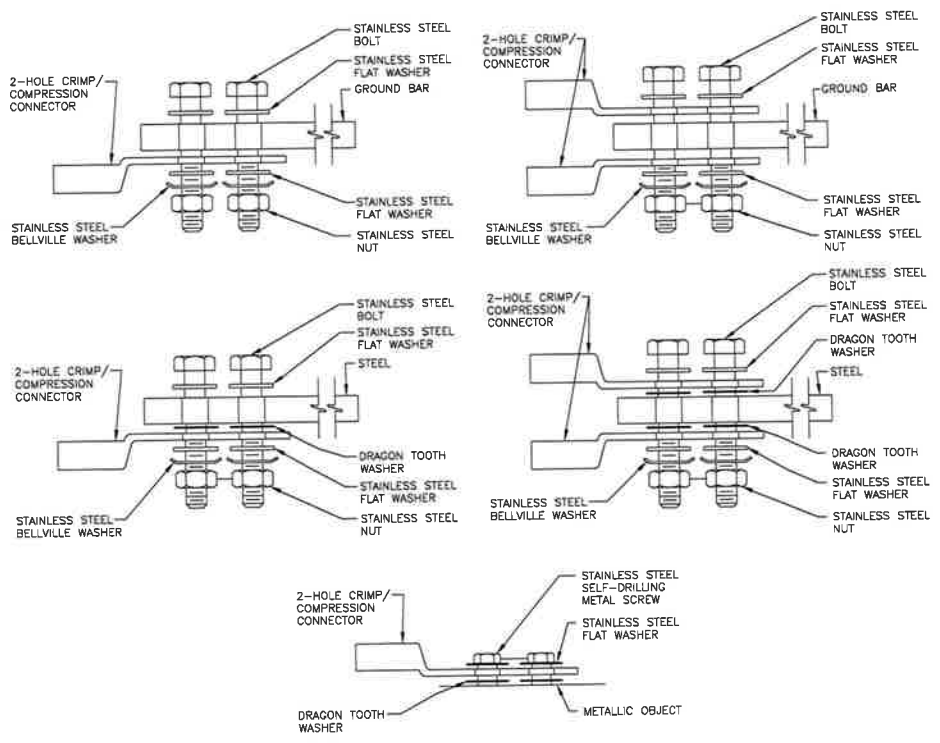
CBOA-2935 5.47

NOTE:

1. CONTRACTOR TO APPLY COPPER SHIELD OR NO-OX.
2. GROUND BAR SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY.



1 GROUND BAR DETAIL
SCALE: N.T.S.



1. CHOOSE BOLT LENGTH TO ALLOW A MIN. OF THREE THREADS EXPOSED.
2. BURNISH MOUNTING SURFACE TO REMOVE PAINT IN THE AREA OF THE CONNECTOR.
3. APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACE OF CONNECTOR AND WIPE OFF EXCESS COMPOUND.
4. APPLY CLEAR HEAT SHRINK OVER ENTIRE LENGTH OF LABEL FOR PROTECTION. (REFER TO CONDUCTOR LABELS SECTION.)

2 MECHANICAL CONNECTION DETAILS
SCALE: N.T.S.

VENDOR:

405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134

CRP COMPANIES LLC
704 W. HILL STREET, SUITE 300
TULSA, OKLAHOMA 74106
(918) 442-5330

PRODUCED BY:

SPECIALTY TELECOMMUNICATIONS SERVICES, PLLC
PROFESSIONAL ENGINEERS AND CONSULTANTS
13431 N. BROADWAY, SUITE 120
OKLAHOMA CITY, OK 73114
(405) 753-7167
COA #5499

SITE NAME:
OWASSO 76TH

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SITE ADDRESS:
7847 N 71ST E AVE
OWASSO OK 74055

ENGINEER:

PRELIMINARY - NOT FOR CONSTRUCTION

10/1/21

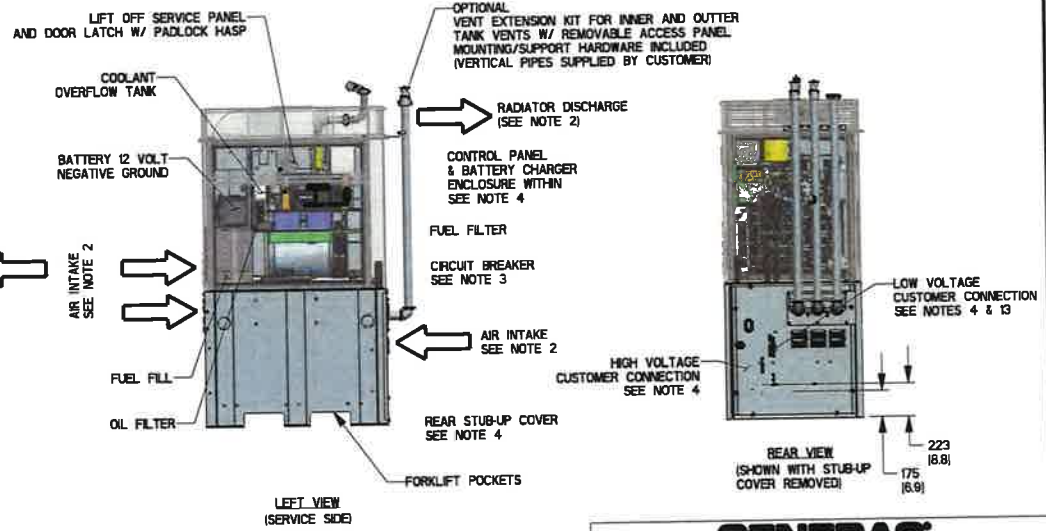
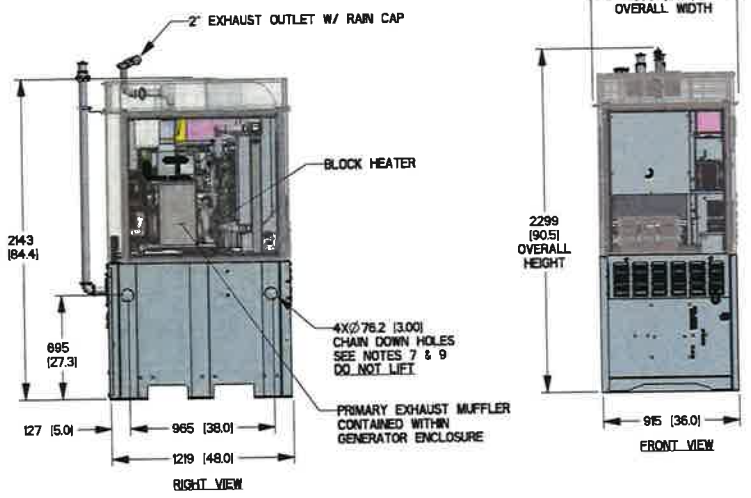
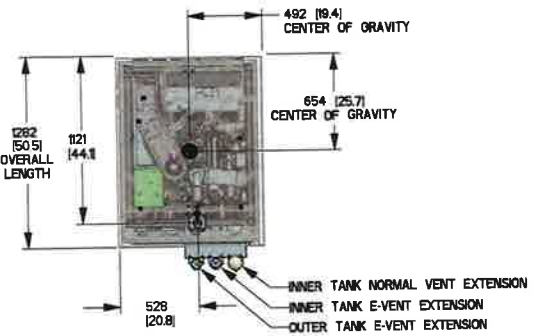
NO	DATE	DESCRIPTION	BY
A	9/17/21	PRELIMINARY ISSUE	JWM

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER: G4	PROJECT #: OKL00453	REVISION: A
BY: JWM	CKD BY: JWM	

ITEMS ACCESSIBLE SERVICE SIDE OF UNIT	WEIGHT DATA WITH EMPTY BASE TANK (SEE NOTE 5)		WEIGHT DATA WITH FULL BASE TANK (SEE NOTE 5)	
	GENERATOR AS SHOWN	APPROX-1072.7KG (2385 LBS)	GENERATOR AS SHOWN	APPROX-1378.9 KG (3040 LBS)
BATTERY				
CONTROL PANEL				
COOLANT OVERFLOW TANK				
COOLANT DRAIN				
MOTOR OIL DIPSTICK				
FUEL FILTER				
OIL FILTER				
OIL DRAIN				
MLCB				
FUEL FILL				
AIR FILTER				

- NOTES:**
- REFERENCE INSTALLATION GUIDE SUPPLIED WITH UNIT FOR CONCRETE PAD GUIDELINES.
 - ALLOW SUFFICIENT ROOM ON ALL SIDES OF THE GENERATOR FOR MAINTENANCE/SERVICE. INTAKE AIR FLOW, AND RADIATOR/EXHAUST DISCHARGE. THIS UNIT MUST BE INSTALLED IN ACCORDANCE WITH CURRENT APPLICABLE NFPA 37 AND NFPA 70 STANDARDS AS WELL AS ANY OTHER FEDERAL, STATE AND LOCAL CODES.
 - CONTROL PANEL / CIRCUIT BREAKER INFORMATION:**
 - SEE SPECIFICATION SHEET OR OWNERS MANUAL
 - ACCESSIBLE WITH REMOVAL OF SERVICE PANEL
 - REMOVE THE REAR TANK STUB-UP COVER TO ACCESS THE STUB-UP AREAS AS FOLLOWS:
 - HIGH VOLTAGE CONNECTION INCLUDING AC LOAD LEAD CONDUIT CONNECTION
 - NEUTRAL CONNECTION, BATTERY CHARGER 120 VOLT AC (0.5 AMP MAX) CONNECTION, AND ENGINE BLOCK HEATER 120 VOLT AC FACTORY WIRING CONNECTION
 - LOW VOLTAGE CONNECTIONS INCLUDING TRANSFER SWITCH CONTROL WIRES AND ACCESSORY RELAY CONNECTION (QTY 4)
 - CENTER OF GRAVITY AND WEIGHT MAY CHANGE DUE TO UNIT OPTIONS.
 - EXHAUST SYSTEM MAXIMUM BACK PRESSURE: 24.0 INCHES OF H2O
 - REFERENCE OWNERS MANUAL FOR LIFTING WARNINGS.
 - MOUNTING BOLTS OR STUDS TO MOUNTING PAD SHALL BE 5/8-11 GRADE 5. (USE STANDARD SAE TORQUE SPECS)
 - CHAIN DOWN HOLES MUST BE PLUGGED AFTER INSTALLATION. PLUGS ARE PROVIDED AND ARE LOCATED IN THE LOOSE VENTS/FUEL FILL KIT.
 - STUB-UPS BASE TANK REQUIRES ALL STUB-UPS TO BE IN REAR TANK STUB-UP AREA.
 - UNIT IS SHIPPED WITH FUEL SUPPLY AND RETURN LINES DISCONNECTED AND PLUGGED BETWEEN ENGINE AND FUEL TANK. THIS HAS BEEN DONE TO FACILITATE PRESSURE TESTING OF THE TANK IN THE FIELD. FOR INFORMATION REGARDING CONNECTING THE FUEL SUPPLY AND RETURN LINES PRIOR TO START UP, SEE THE FUEL TANK FIELD TESTING PROCEDURE SUPPLIED IN THE TANK LOOSE VENTS KIT, WHICH IS SHIPPED WITH THIS GENERATOR.
 - TRANSFORMER SWITCH/COMMUNICATION CONDUITS - COMMUNICATIONS AND 2-WIRE START MUST NOT BE RUN IN CONDUIT WITH AC WIRING.
 - CONTROL WIRES TO BE SHIELD AND TWISTED PAIR (40M MAX LENGTH).



DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

GENERAC

TITLE
STUB-UP VIEW
INSTALL, D2.5L 20 KW AC, TELECOM

DIMENSION: mm (inch)

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ELECTRONICALLY APPROVED
INSIDE WINDCHILL

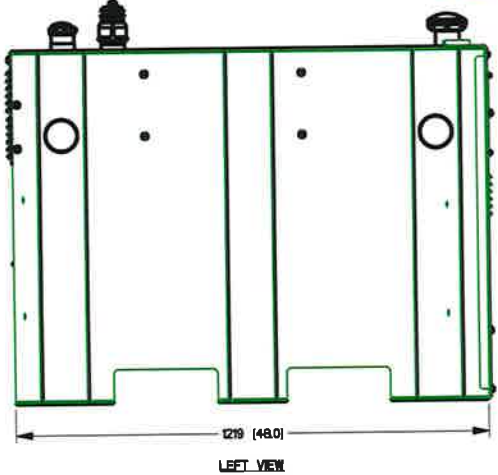
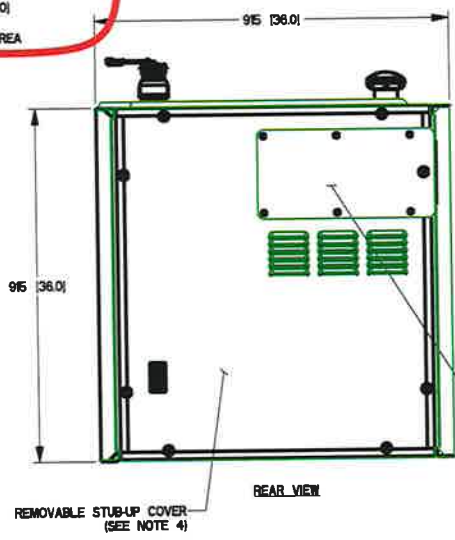
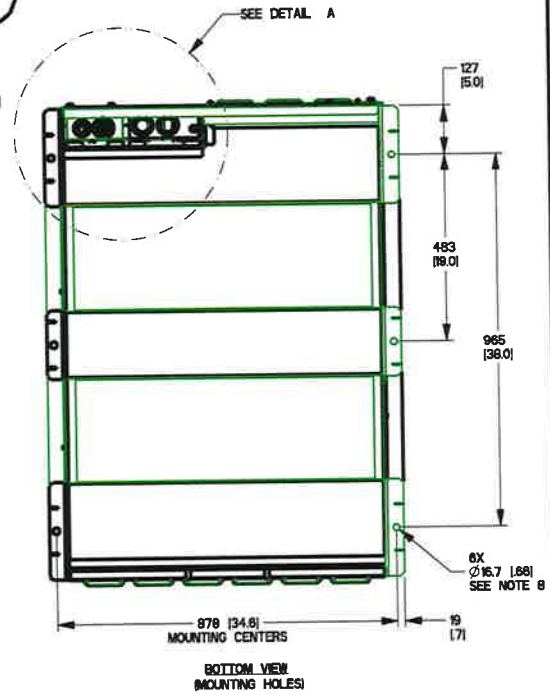
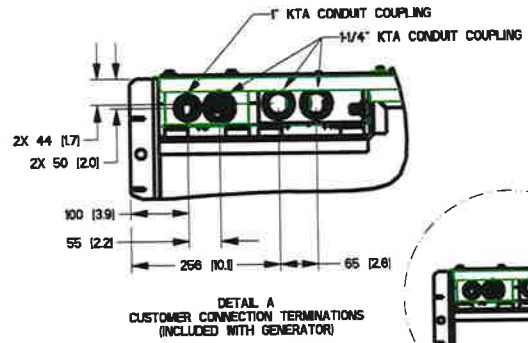
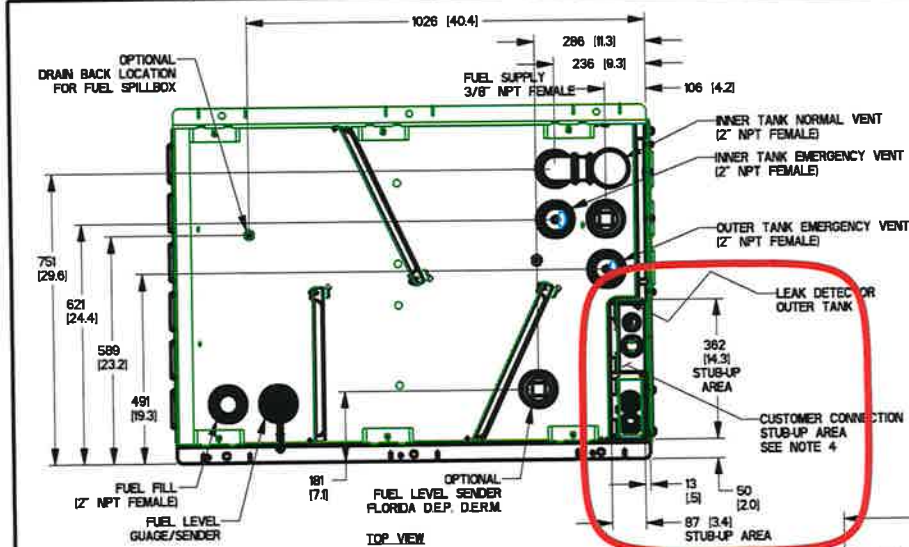
ISSUE DATE:
SIZE B CAGE NO N/A DWG NO 1000013144 REV 1
SCALE 0.032 WT-KG SHEET 1 of 2

INSTALLATION DRAWING

CBOA-2935

5.48

FUEL TANK	
TOTAL CAPACITY	383.4 (97)
USABLE CAPACITY	348.3 (82)
CAPACITY: LITER (GALLON)	
DIMENSION: mm (inch)	
THIS TANK IS LISTED TO UL142	



REMOVE VENT ACCESS PANEL TO ALLOW TANK VENTS TO TERMINATE OUTSIDE OF THE GENERATOR ENCLOSURE (IF LOCAL CODE APPLIES, OPTIONAL KIT AVAILABLE)

DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.



TITLE
STUB-UP VIEW
INSTALL, D2.5L 20 KW AC, TELECOM

INSTALLATION DRAWING

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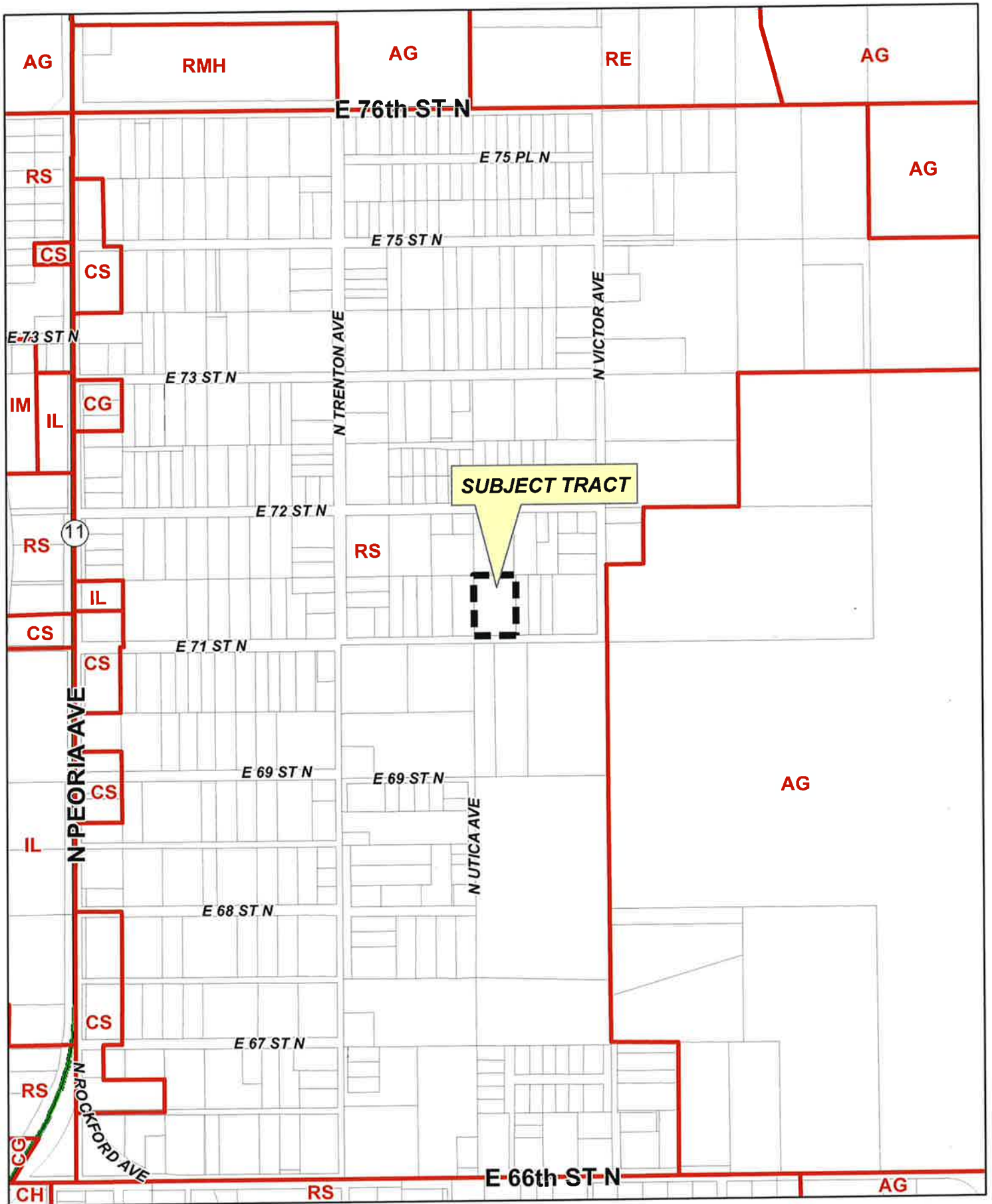
ELECTRONICALLY APPROVED
INSIDE WINDCHILL

ISSUE DATE:	SIZE	CAGE NO	DWG NO	REV
	B	N/A	1000013144	1
SCALE	0.083	WT-KG	SHEET 2 of 2	

CBOA-2935

5.49

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SUBJECT TRACT

CBOA-2936

21-13 31



CBOA-2936 6.1

**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 1331

CASE NUMBER: CBOA-2936

CZM:

CASE REPORT PREPARED BY: Robi Jones

HEARING DATE: 11/16/2021 1:30 PM

APPLICANT: Sherri Coghill

ACTION REQUESTED: Special Exception to permit a single-wide mobile home in an RS district (Section 410).

LOCATION: 1655 E 71 ST N

ZONED: RS

FENCELINE: Turley

PRESENT USE: Residential

TRACT SIZE: 1.45 acres

LEGAL DESCRIPTION: LOT 10 BLK 8,

RELEVANT PREVIOUS ACTIONS:

Subject Property:

CBOA-1439 August 1996: The Board **approved** a *Variance* to allow two dwelling units on one lot of record; and a *Special Exception* to allow a manufactured home in a RS zoning district, on property located at 1659 East 71st Street North.

ANALYSIS OF SURROUNDING AREA: The subject tract is surrounded by RS zoning with residential uses.

STAFF COMMENTS:

The applicant is requesting a Special Exception to permit a single-wide mobile home in an RS district (Section 410).

A special exception is required as the proposed mobile home is a use which is not permitted by right in the RS district because of potential adverse effects, but which if controlled in the particular instance as to its relationship to the neighborhood and to the general welfare, may be permitted. The mobile home must be found to be compatible with the surrounding neighborhood.

According to the site plan, the applicant is proposing to place a 16' x 80' mobile home on the property. The house has been removed and the mobile home will be placed in that location. A mobile home on the subject property was previously approved (CBOA-1439) what was not acted upon within the three year time period.

If inclined to approve the request the Board may consider any condition it deems necessary in order to ensure that the proposed mobile home is compatible and non-injurious to the surrounding area.

Sample Motion:

"Move to _____ (approve/deny) a Special Exception to permit a single-wide mobile home in an RS district (Section 410).

Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.

Subject to the following conditions, if any: _____.

In granting a Special Exception, the Board must find that the Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

COUNTY BOARD OF ADJUSTMENT
MINUTES of Meeting No. 195
Tuesday, August 20, 1996, 1:30 p.m.
County Commission Room
Room 119
County Administration Building

MEMBERS PRESENT	MEMBERS ABSENT	STAFF PRESENT	OTHERS PRESENT
Alberty Eller Tyndall Walker	Looney, Chairman	Beach Huntsinger Gardner	Fields, Building Inspection

The notice and agenda of said meeting were posted in the Office of the County Clerk on Friday, August 16, 1996, at 2:01 p.m., as well as in the Reception Area of the INCOG offices.

After declaring a quorum present, Vice Chairman Walker called the meeting to order at 1:32 p.m.

MINUTES:

On **MOTION** of **ELLER**, the Board voted 4-0-0 (Alberty, Eller, Tyndall, Walker, "aye"; no "nays"; no "abstentions"; Looney "absent") to **APPROVE** the **Correction of Minutes** of September 19, 1995 (No. 184) showing the Case No. 1371 was approved but improperly recorded as having been denied.

On **MOTION** of **TYNDALL**, the Board voted 4-0-0 (Alberty, Eller, Tyndall, Walker, "aye"; no "nays"; no "abstentions"; Looney "absent") to **APPROVE** the **Minutes** of July 16, 1996 (No. 194).

NEW APPLICATIONS

Case No. 1439

Action Requested:

Variance to allow two dwelling units on one lot of record. **SECTION 208. ONE SINGLE-FAMILY DWELLING PER LOT OF RECORD** - Use Unit 9 and a Special Exception to allow a manufactured home in a RS zoned district. **SECTION 410. PRINCIPAL USES PERMITTED IN RESIDENTIAL DISTRICTS** - Use Unit 9, located 1659 East 71st Street North.

Presentation:

The applicant, **Richard A. Pilgrim**, 1659 East 71st Street North, submitted a site plan (Exhibit A-1) and stated he would like to install a trailer on his father's lot. He explained there is already one home existing on the subject lot that belongs to his father.

Comments and Questions:

Mr. Walker asked the applicant if he wanted to divide his lot to allow the mobile home? He stated his father wants to keep the ownership under one name.

Mr. Eller asked the applicant if his trailer was a 12' x 72'? He stated the trailer will be 12' x 60'

Mr. Eller asked the applicant if he will install the tie downs and skirt the trailer? He answered affirmatively.

Mr. Eller asked the applicant if water and sewer is available? He answered affirmatively.

Mr. Tyndall asked the applicant if the trailer was for his own family use or for renting? He stated he would be living in the trailer home.

Mr. Walker stated he did not see any conflict and there are much smaller lots in the area with more than one dwelling unit per lot. He further stated the applicant could get a lot split and install the trailer by right, however he would prefer to keep the land under one ownership.

Board Action:

On **MOTION** of **ALBERTY**, the Board voted 4-0-0 (Alberty, Eller, Tyndall, Walker, "aye"; no "nays"; no "abstentions"; Looney "absent") to **APPROVE** a **Variance** to allow two dwelling units on one lot of record. **SECTION 208. ONE SINGLE-FAMILY DWELLING PER LOT OF RECORD** and a **Special Exception** to allow a manufactured home in a RS zoned district. **SECTION 410. PRINCIPAL USES PERMITTED IN RESIDENTIAL DISTRICTS** - Use Unit 9; per plan submitted; subject to tie down and skirting the manufactured home; subject to the Health Department's approval and a building permit; finding that the tract is large enough to support two dwelling units, but the owner would like to retain a single ownership, finding that the approval of this request will not be injurious to the neighborhood, nor harmful to the spirit and intent of the Code; on the following described property:

Lot 10, Block 8, Golden Hill Addition, Tulsa County, Oklahoma.



Subject
Tract

CBOA-2936

21-13 31

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



CBOA-2936 6.6



E72 STN

E71 STN



Subject Tract

CBOA-2936

21-13 31

Note: Graphic overlays may not precisely align with physical features on the ground.

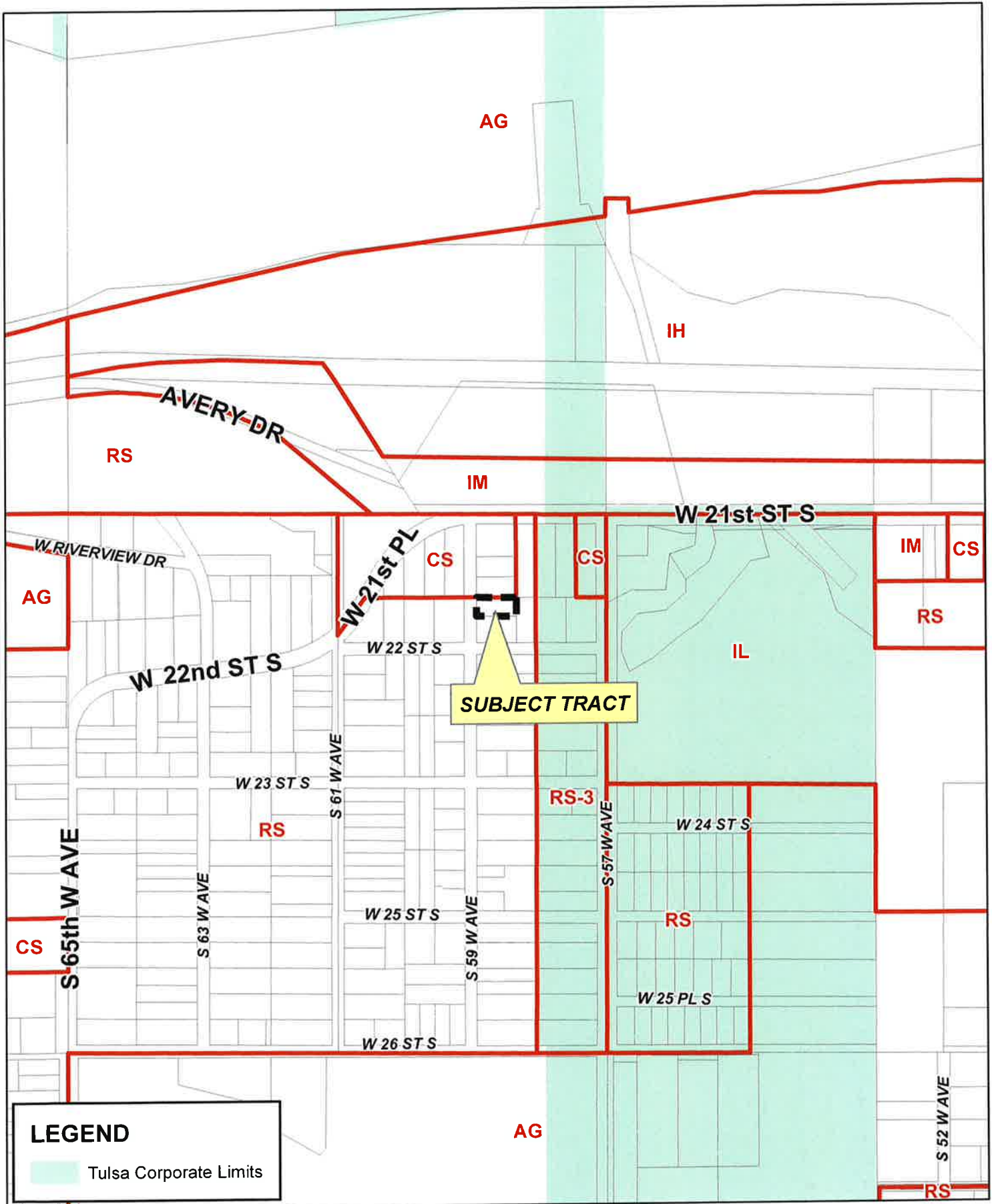
Aerial Photo Date: 2020/2021



CBOA-2936 6.7



1655 E. 71st St. N.



LEGEND

Tulsa Corporate Limits



CBOA-2937

19-12 17



**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 9217

CASE NUMBER: CBOA-2937

CZM: 35

CASE REPORT PREPARED BY: Robi Jones

HEARING DATE: 11/16/2021 1:30 PM

APPLICANT: Lorenda Christensen

ACTION REQUESTED: Variance to allow the total combined floor area of an accessory buildings to exceed 750 sq ft in an RS district. (Section 240.2-E)

LOCATION: 2137 S 59 AV W

ZONED: RS

FENCELINE: Berryhill

PRESENT USE: Residential

TRACT SIZE: 0.41 acres

LEGAL DESCRIPTION: W197 FEET & 3 INCHES N90 LT 9 BLK 1, SECOND WEST TULSA VIEW ACRES SUB

RELEVANT PREVIOUS ACTIONS: None Relevant

ANALYSIS OF SURROUNDING AREA: The subject tract abuts CS zoning to the north and RS zoning to the east, south, and west. The surrounding uses are residential.

STAFF COMMENTS:

The applicant is before the Board requesting a Variance to allow the total combined floor area of an accessory buildings to exceed 750 sq ft in an RS district. (Section 240.2-E)

Section 240.2.E permits accessory buildings in the RS district, however, the total square footage of all accessory buildings on the lot cannot exceed 750 SF of floor area. The provision of the Code attempts to establish and maintain development intensity of the district, preserve the openness of living areas and avoid overcrowding by limiting the bulk of structures.

The applicant provided the following statement:

“Lorenda’s job has moved to full work-from-home, there is no room in the house for an office. We also need storage space for various vehicles, lawn equipment, boats, and campers. We also need space to pen our “nuisance barker’ dog at night.”

According to the site plan provided, the applicant is proposing to construct a 30’ x 60’ (1,800 sq. ft.) accessory building at the rear of his property. Section 420.2.A.3. states the following: Within the rear yard, a detached accessory building shall be located at least three feet from any interior lot line. The proposed accessory building complies with the three-foot setback requirement.

If inclined to approve, the Board may consider any conditions it deems necessary and reasonably related to the request to ensure that the proposed accessory buildings are compatible with and non-injurious to the surrounding area.

Sample Motion:

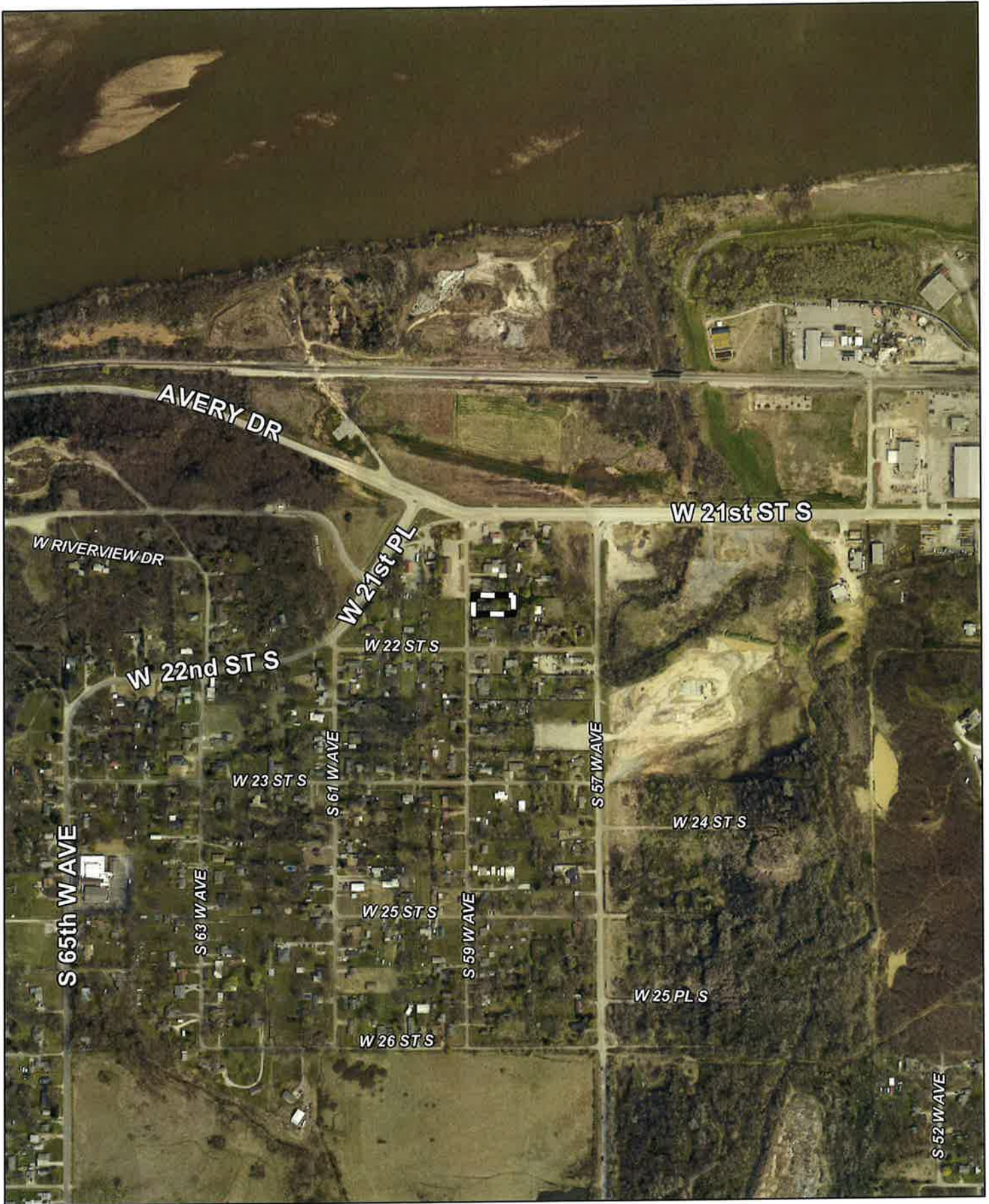
“Move to _____ (approve/deny) a Variance to allow the total combined floor area of an accessory buildings to exceed 750 sq ft in an RS district. (Section 240.2-E).

Per the Conceptual Plan(s) shown on page(s) _____ of the agenda packet.

Subject to the following conditions, if any: _____.

Finding the hardship to be _____.

Finding by reason of extraordinary or exceptional conditions or circumstances, which are peculiar to the land, structure or building involved, the literal enforcement of the terms of the Code would result in unnecessary hardship; that such extraordinary or exceptional conditions or circumstances do not apply generally to other property in the same use district; and that the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of the Code, or the Comprehensive Plan.”



Subject Tract

CBOA-2937

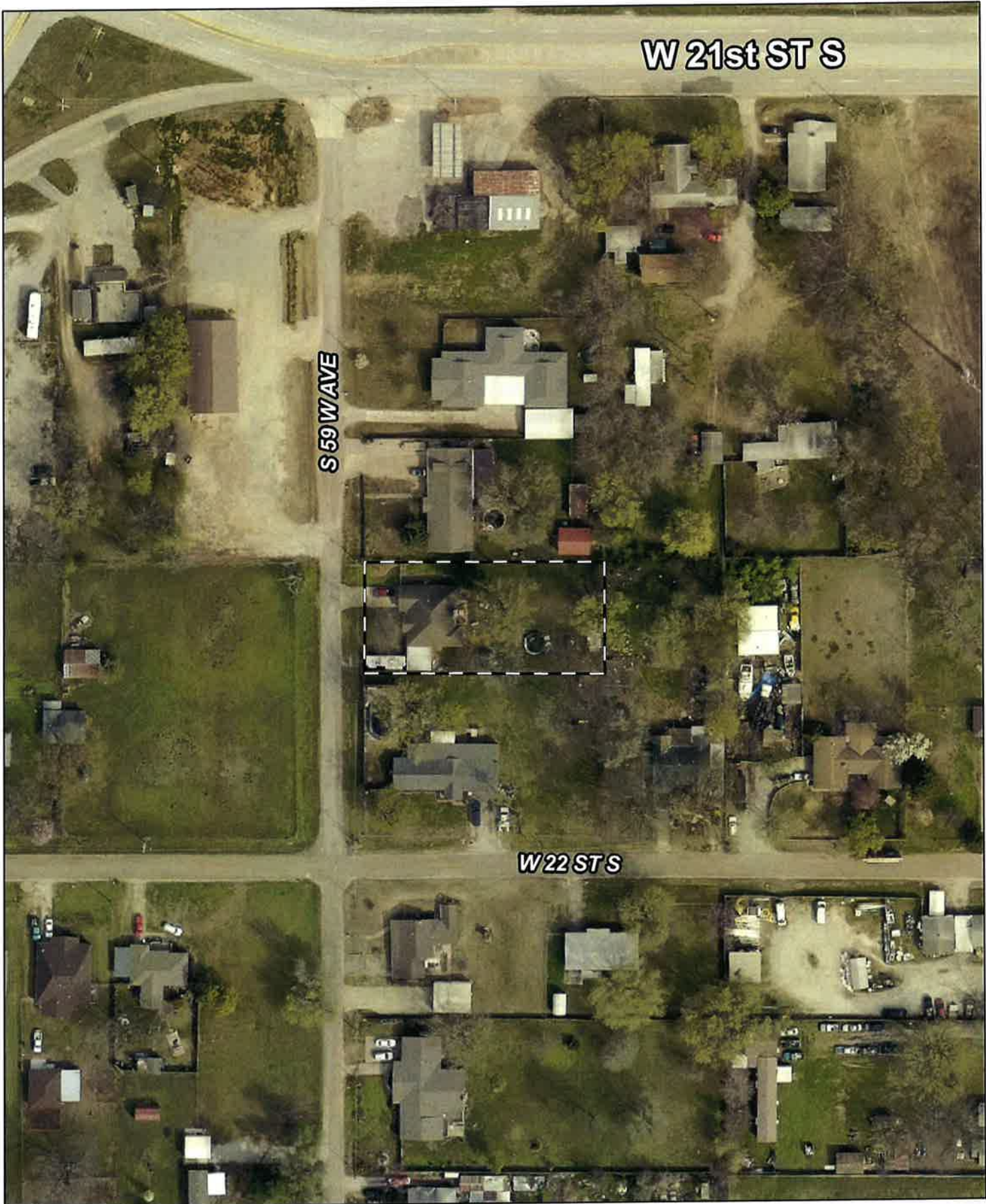
19-12 17

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



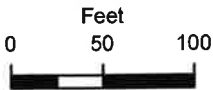
CBOA-2937 7.4



W 21st ST S

S 59 WAVE

W 22 ST S



Subject Tract

CBOA-2937

19-12 17

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2020/2021



CBOA-2937 7.5

Site Map

Description of property and proposed placement of outbuilding

