

RECEIVED



9:18 am, Mar 05, 2025

AGENDA
Tulsa County Board of Adjustment
Regularly Scheduled Meeting
Tuesday March 18, 2025, 1:30 p.m.
Williams Tower I
1 West 3rd Street, St. Francis Room

Meeting No. 541

Consider, Discuss and/or Take Action On:

1. Approval of Minutes of January 21, 2025 (Meeting No. 539).

UNFINISHED BUSINESS

2. **CBOA 3243 - Jose Luis Urquiza**

Action Requested:

Variance to permit 3 dwellings on one lot of record in the RS district (Section 6.010, Table 6-1) and a Special Exception to permit a single-wide manufactured home in the RS district (Section 3.030, Table 3-2). **Location:** 14001 E 56th St N

3. **CBOA 3244 - John & Jeannine Hoy**

Action Requested:

Variance of the lot area and lot per dwelling unit in an AG district to permit a lot split (Section 2.040, Table 2-3) **Location:** 12551 E 120th St N

NEW APPLICATIONS

4. **CBOA 3245 - Demarcus Bennett**

Action Requested:

Special Exception to permit an outdoor marijuana grow operation in the AG district (Section 6.010, Table 6-1) **Location:** 5925 E 106th St N

5. **CBOA 3246 - Jim Meadows**

Action Requested:

Special Exception to permit a Recreational Vehicle as a living space in an AG district (Section 8.160) **Location:** 17110 W Wekiwa Rd

6. **CBOA 3248 - Dakota Wayne Burris**

Action Requested:

Use Variance to permit an RV park in the RS district (Section 6.010, Table 6-1) **Location:** 5760 S 65th W Ave

**7. CBOA 3249 - John Harris**

9:18 am, Mar 05, 2025

Action Requested:

Special Exception to permit a Recreational Vehicle as a living space in an AG district (Section 8.160) **Location:** 16655 W 56th PI S

OTHER BUSINESS**NEW BUSINESS****BOARD MEMBER COMMENTS****ADJOURNMENT**

Website: https://www.incog.org/Land_Development/land_main.html

E-mail: esubmit@incog.org

If you require special accommodations pursuant to the Americans with Disabilities Act, please call 918-584-7526.

NOTE: Exhibits, Petitions, Pictures, etc., presented to the Board of Adjustment may be received and deposited in case files to be maintained at the Tulsa Planning Office at INCOG. **All electronic devices must be silenced** during the Board of Adjustment meeting.



Board of Adjustment

Case Number: CBOA-3243

Hearing Date: 3/18/2025 1:30 PM
(Continued from 2/18/2025)

Case Report Prepared by:

Jay Hoyt

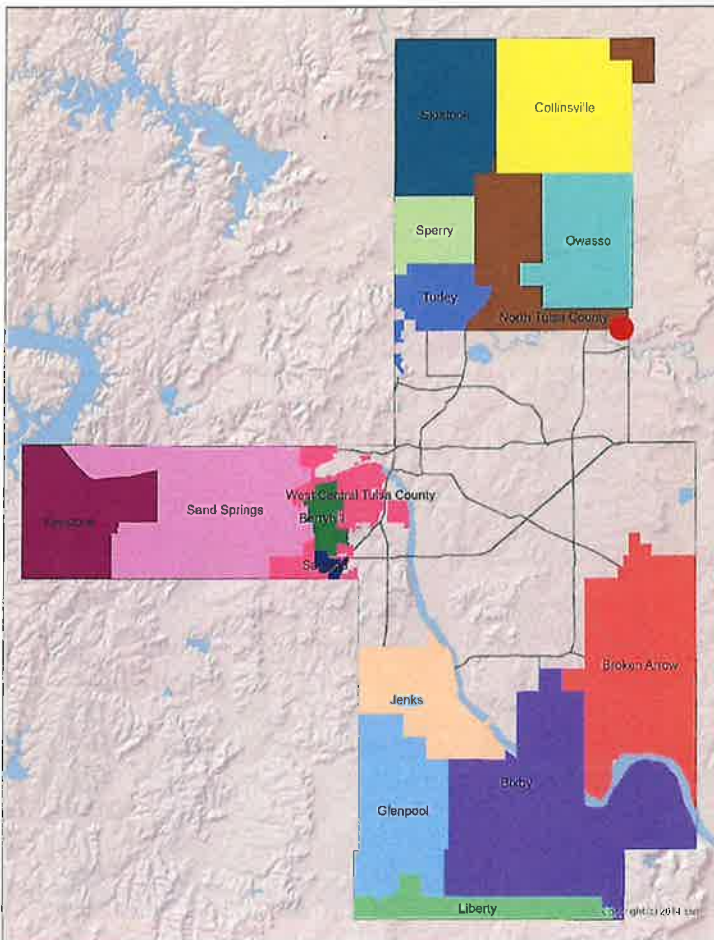
Owner and Applicant Information:

Applicant: Jose Luis Urquiza

Property Owner: Same

Action Requested: Variance to permit 3 dwellings on one lot of record in the RS district (Section 6.010, Table 6-1) and a Special Exception to permit a single-wide manufactured home in the RS district (Section 3.030, Table 3-2).

Location Map:



Additional Information:

Present Use: Residence

Tract Size: 4.97 acres

Location: 14001 E 56th St N

Present Zoning: RS-3

Fenceline/Area: North Tulsa County

Land Use Designation: Rural Residential/Agricultural

**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 0404

CASE NUMBER: CBOA-3243

CASE REPORT PREPARED BY: Jay Hoyt

HEARING DATE: 3/18/2025 1:30 PM (Continued from 2/18/2025)

APPLICANT: Jose Luis Urquiza

ACTION REQUESTED: Variance to permit 3 dwellings on one lot of record in the RS district (Section 6.010, Table 6-1) and a Special Exception to permit a single-wide manufactured home in the RS district (Section 3.030, Table 3-2).

LOCATION: 14001 E 56th St N

ZONED: RS-3

FENCELINE: North Tulsa County

PRESENT USE: Residence

TRACT SIZE: 4.97 acres

LEGAL DESCRIPTION: BG.1490'W.SE COR SE TH N.656'W 330' S.656'E.330'TO BG SEC. 4-20-14

RELEVANT PREVIOUS ACTIONS: None Relevant

ANALYSIS OF SURROUNDING AREA: The subject tract is zoned RS-3 and contains a single-family residence. The tract abuts RS-3 zoning to the North, East and West containing single-family residences and to the south by AG zoning (City of Tulsa) containing vacant land.

STAFF COMMENTS:

The applicant is before the Board to request a Variance to permit 3 dwellings on one lot of record in the RS district (Section 6.010, Table 6-1) and a Special Exception to permit a single-wide manufactured home in the RS district (Section 3.030, Table 3-2).

A special exception is required as the proposed mobile homes are a use which is not permitted by right but by exception in the RS district because of potential adverse effects, but which if controlled in the particular instance as to its relationship to the neighborhood and to the general welfare, may be permitted. The mobile home must be found to be compatible with the surrounding neighborhood.

A variance is required due to there being an existing home on the subject lot. The manufactured homes requested as part of the special exception portion of this proposal would be the second and third dwelling units on the lot, which would require a variance to be permitted due to the zoning code limitation on the number of dwelling units allowed on a single lot of record in the RS district. The RS-3 district requires 6,900 sf of floor area per dwelling unit. The subject lot is 4.97 acres in size so has enough land area for three dwellings per the Tulsa County Zoning Code requirements.

The applicant provided the statement "One of the manufactured homes is for my older son and the other is for my mother to live in."

If inclined to approve the request the Board may consider any condition it deems necessary in order to ensure that the proposed special exception and variance are compatible and non-injurious to the surrounding area.

Sample Motion:

"Move to _____ (approve/deny) a Variance to permit 3 dwellings on one lot of record in the RS district (Section 6.010, Table 6-1) and a Special Exception to permit a single-wide manufactured home in the RS district (Section 3.030, Table 3-2).

Subject to the following conditions, if any: _____.

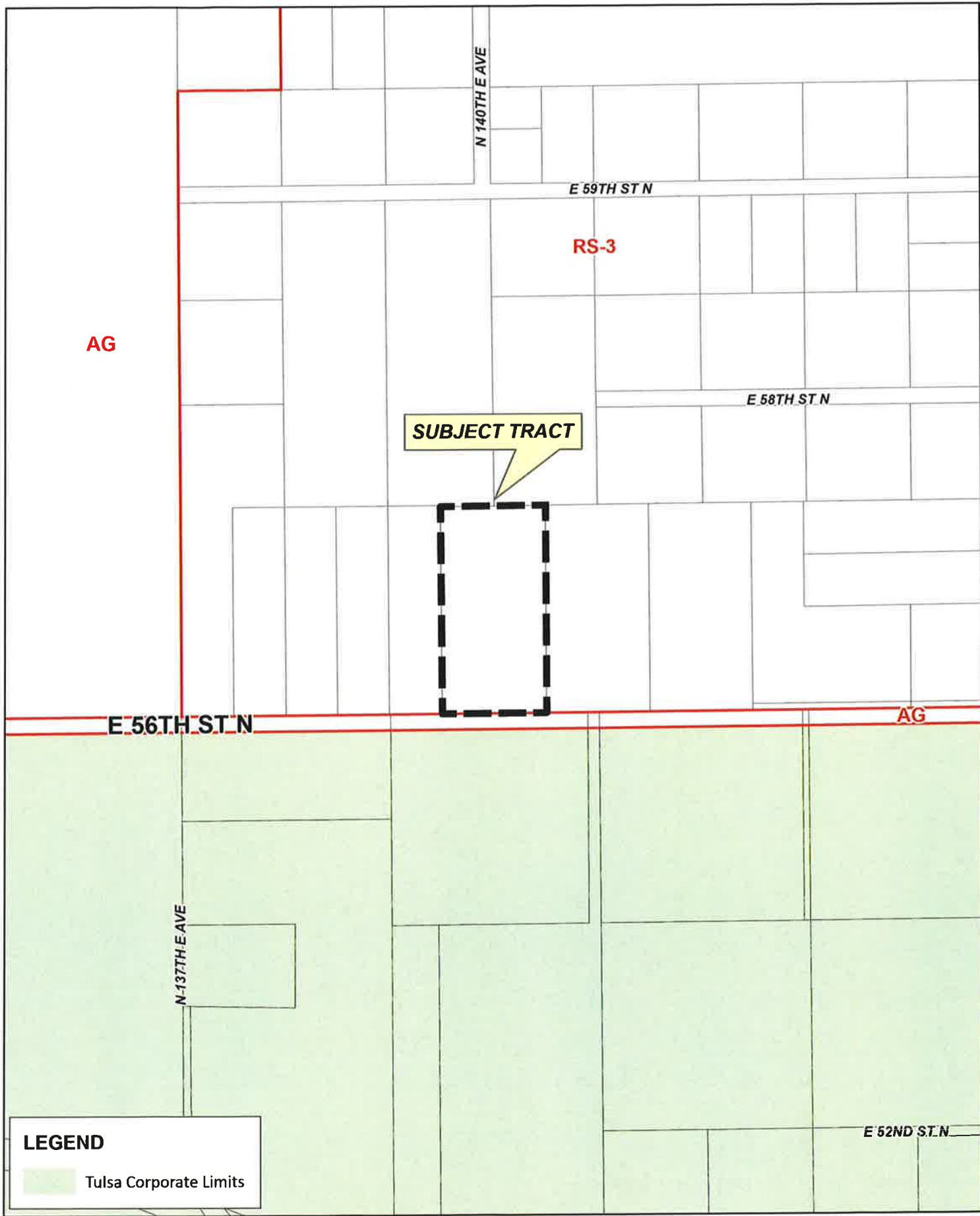
In granting a Special Exception and Variance, the Board must find that the Special Exception and Variance will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



Subject tract looking Northeast from E 56th ST N

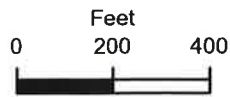


Subject tract looking Northwest from E 56th ST N



LEGEND

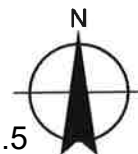
Tulsa Corporate Limits

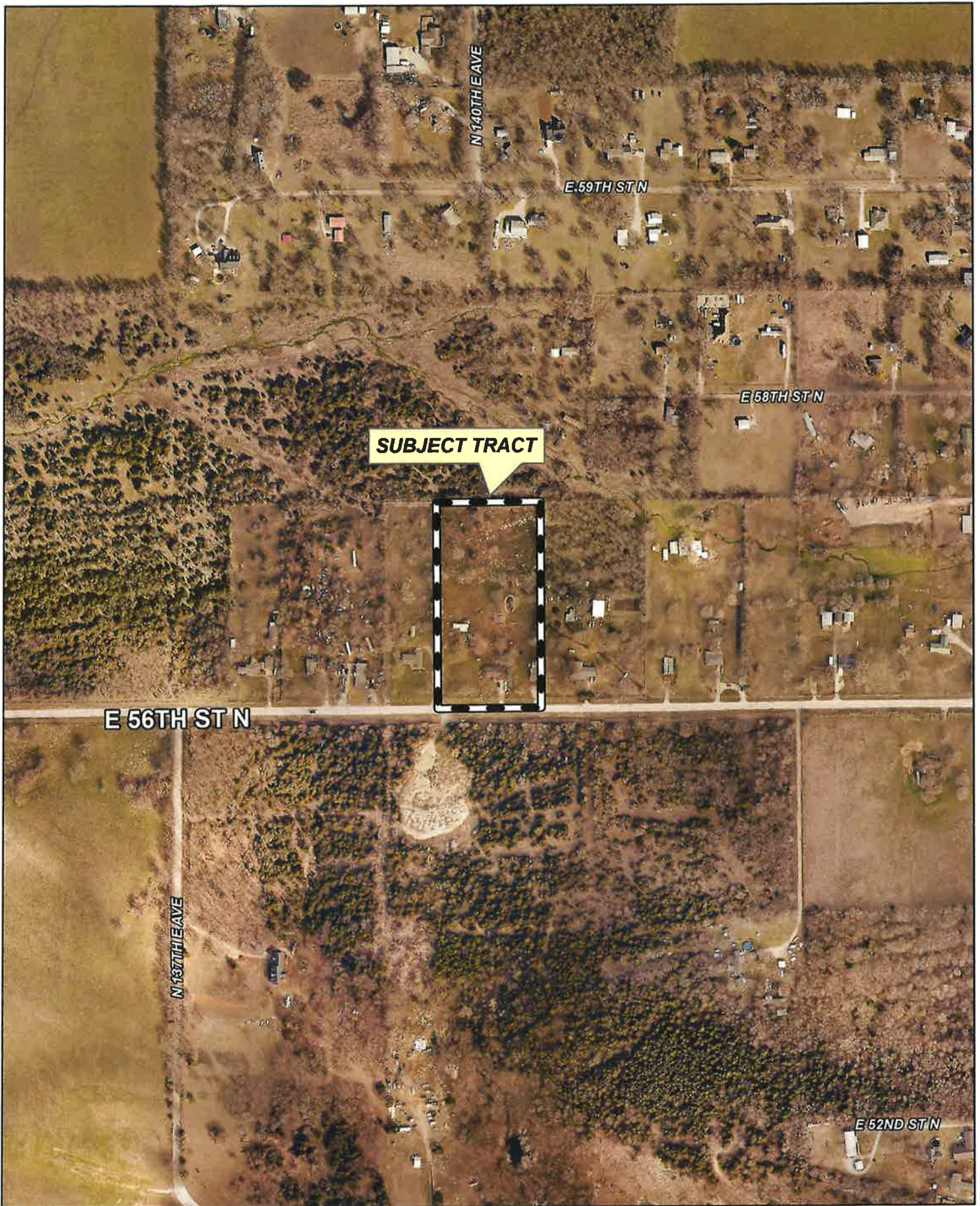


CBOA-3243

04 20-14

CBOA-3243 2.5





Subject
Tract

CBOA-3243

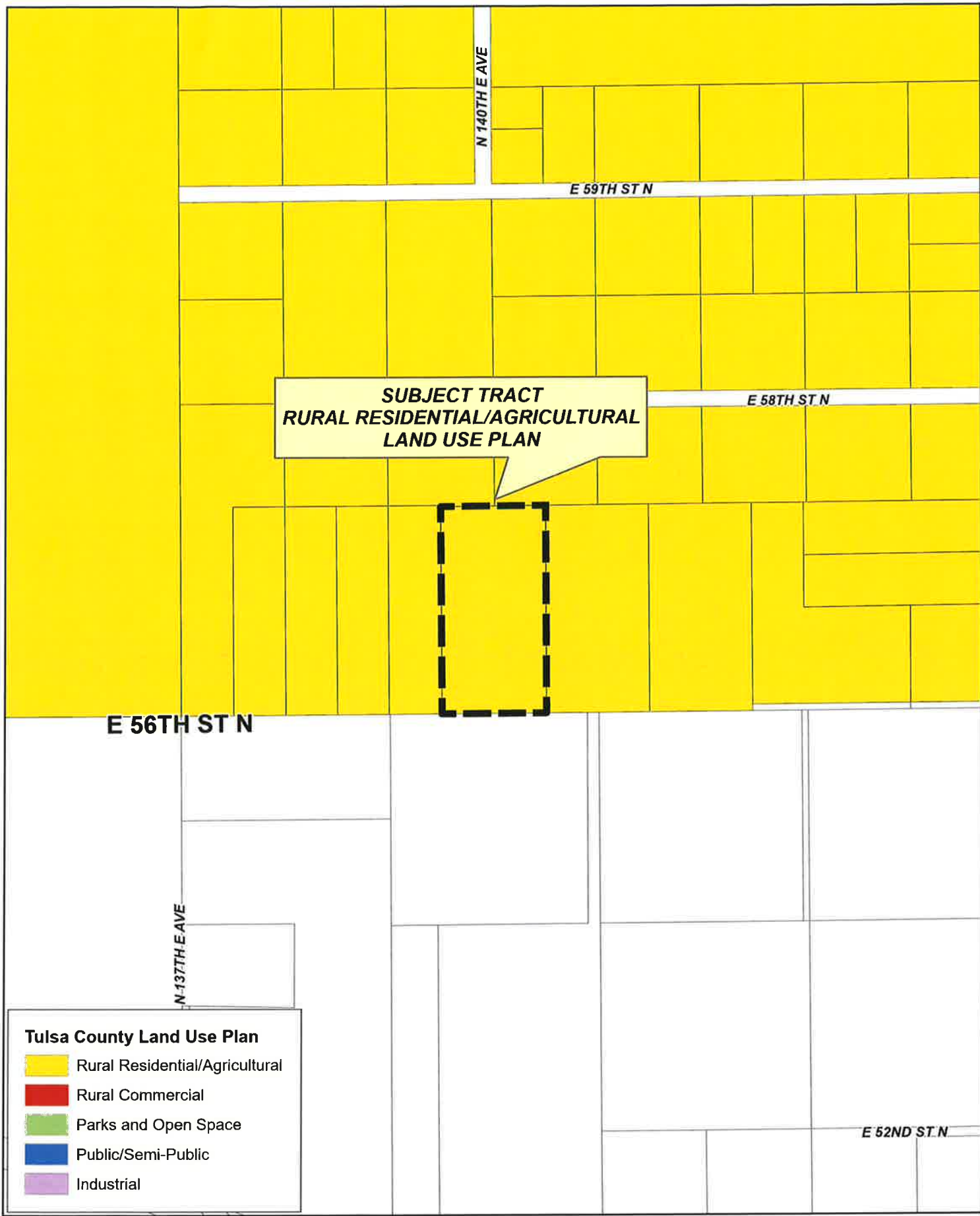
04 20-14

Note: Graphic overlays may not precisely
align with physical features on the ground.

Aerial Photo Date: 2023

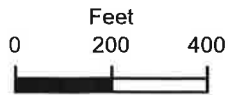
CBOA-3243 2.6





Tulsa County Land Use Plan

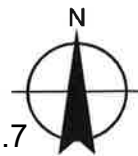
-  Rural Residential/Agricultural
-  Rural Commercial
-  Parks and Open Space
-  Public/Semi-Public
-  Industrial



CBOA-3243

04 20-14

CBOA-3243 2.7





Board of Adjustment

Case Number: CBOA-3244

Hearing Date: 3/18/2025 1:30 PM
(Continued from 2/18/2025)

Case Report Prepared by:

Jay Hoyt

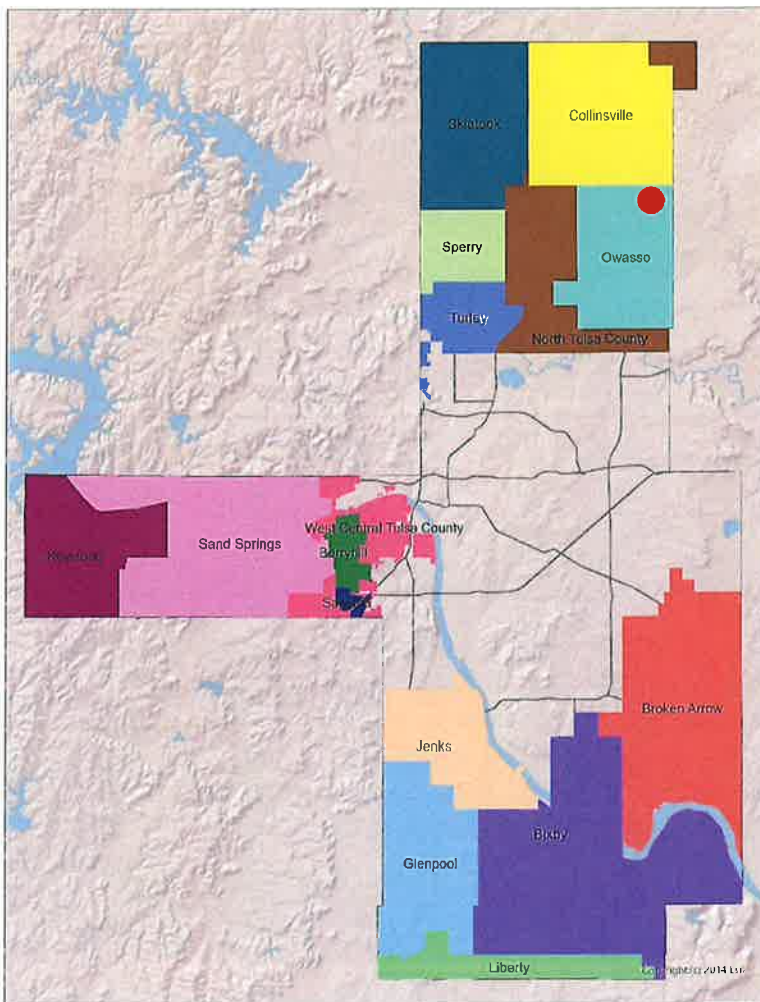
Owner and Applicant Information:

Applicant: John & Jeannine Hoy

Property Owner: Same

Action Requested: Variance of the lot area and lot per dwelling unit in an AG district to permit a lot split (Section 2.040, Table 2-3)

Location Map:



Additional Information:

Present Use: Residence

Tract Size: 3.914 acres

Location: 12551 E 120th St N

Present Zoning: AG

Fenceline/Area: Owasso

Land Use Designation: Residential

**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 1405

CASE NUMBER: CBOA-3244

CASE REPORT PREPARED BY: Jay Hoyt

HEARING DATE: 3/18/2025 1:30 PM (Continued from 2/18/2025)

APPLICANT: John & Jeannine Hoyt

ACTION REQUESTED: Variance of the lot area and lot per dwelling unit in an AG district to permit a lot split (Section 2.040, Table 2-3)

LOCATION: 12551 E 120th St N

ZONED: AG

FENCELINE: Owasso

PRESENT USE: Residence

TRACT SIZE: 3.914 acres

LEGAL DESCRIPTION: W/2 NW NE SE LESS S50 THEREOF FOR RD & LESS W50 N610 W/2 NW NE SE & LESS BEG 50E & 75N SWC W/2 NW NE SE TH S25 E25 NWLY35.36 POB SEC 5 21 14 3.914ACS

RELEVANT PREVIOUS ACTIONS:

Surrounding Properties:

CBOA-2043 June 2003: The Board approved a Variance of the of the requirement for 2.1 acres per dwelling in the AG district.

ANALYSIS OF SURROUNDING AREA: The subject tract is zoned AG and contains a single-family dwelling. The tract abuts AG zoning to the North, East and West containing single-family residences and AG-R zoning to the South containing a single-family residence.

STAFF COMMENTS:

The applicant is before the Board to request a Variance of the lot area and lot per dwelling unit in an AG district to permit a lot split (Section 2.040, Table 2-3)

The Tulsa County zoning code requires 2 acres minimum for a lot in the AG district as well as 2 acres of land area per dwelling per Section 2.040, Table 2-3 of the Tulsa County Zoning Code. The subject tract contains a single-family residence. The applicant is proposing to split the current tract into two tracts of 3.014 and 0.9 acres respectively as shown on the attached site plan. The subject tract contains an existing single-family residence and associated accessory building. A second house will be built on the proposed 0.9 acre tract.

The applicant provided the statement "As our parents age, they are starting to have declining health and we need them closer in case of emergency so we can care for them. Where they currently live, in Claremore, takes us 30 minutes to get to them when they have an emergency. We are requesting to divide .90 acres off from our 3.914 acre property. We are needing to split this off so that we can put a manufactured home on that piece for them to live in."

If inclined to approve, the Board may consider any condition it deems necessary and reasonably related to the request to ensure that the proposed variance is compatible with and non-injurious to the surrounding area.

Sample Motion:

“Move to _____ (approve/deny) a Variance of the lot area and lot per dwelling unit in an AG district to permit a lot split (Section 2.040, Table 2-3)

Subject to the following conditions, if any: _____.

Finding the hardship to be _____.

Finding by reason of extraordinary or exceptional conditions or circumstances which are peculiar to the land, structure or building involved, the literal enforcement of the terms of the Code would result in unnecessary hardship; that such extraordinary or exceptional conditions or circumstances do not apply generally to other property in the same use district; and that the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of the Code, or the Comprehensive Plan.



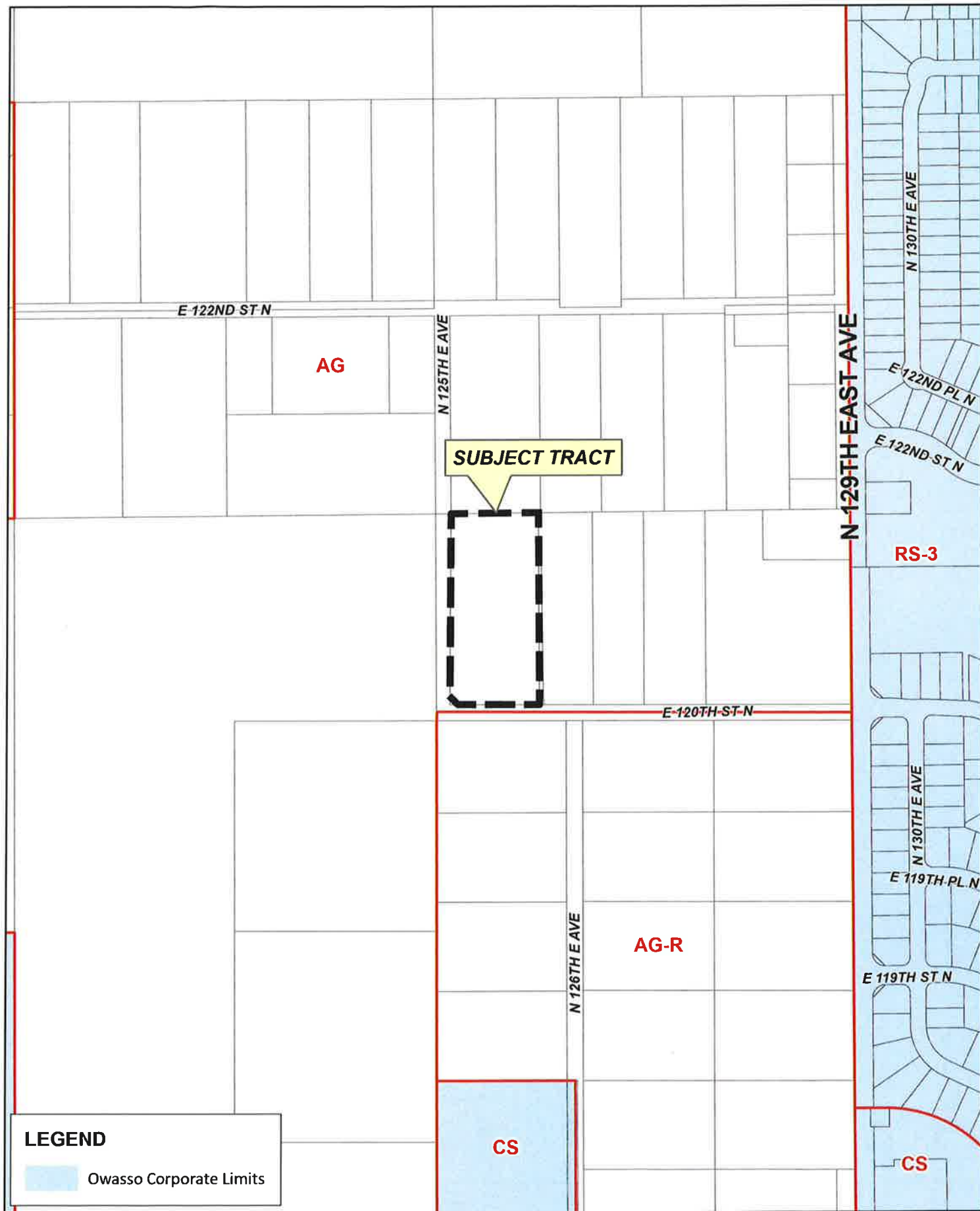
Subject tract looking Northwest from E 120th ST N



Subject tract looking Northeast from N 125th E AVE



Subject tract looking Southeast from N 125th E AVE



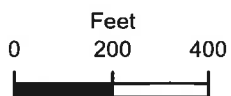
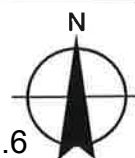
LEGEND

 Owasso Corporate Limits

CBOA-3244

05 21-14

CBOA-3244 3.6





0 Feet 200 400



Subject
Tract

CBOA-3244

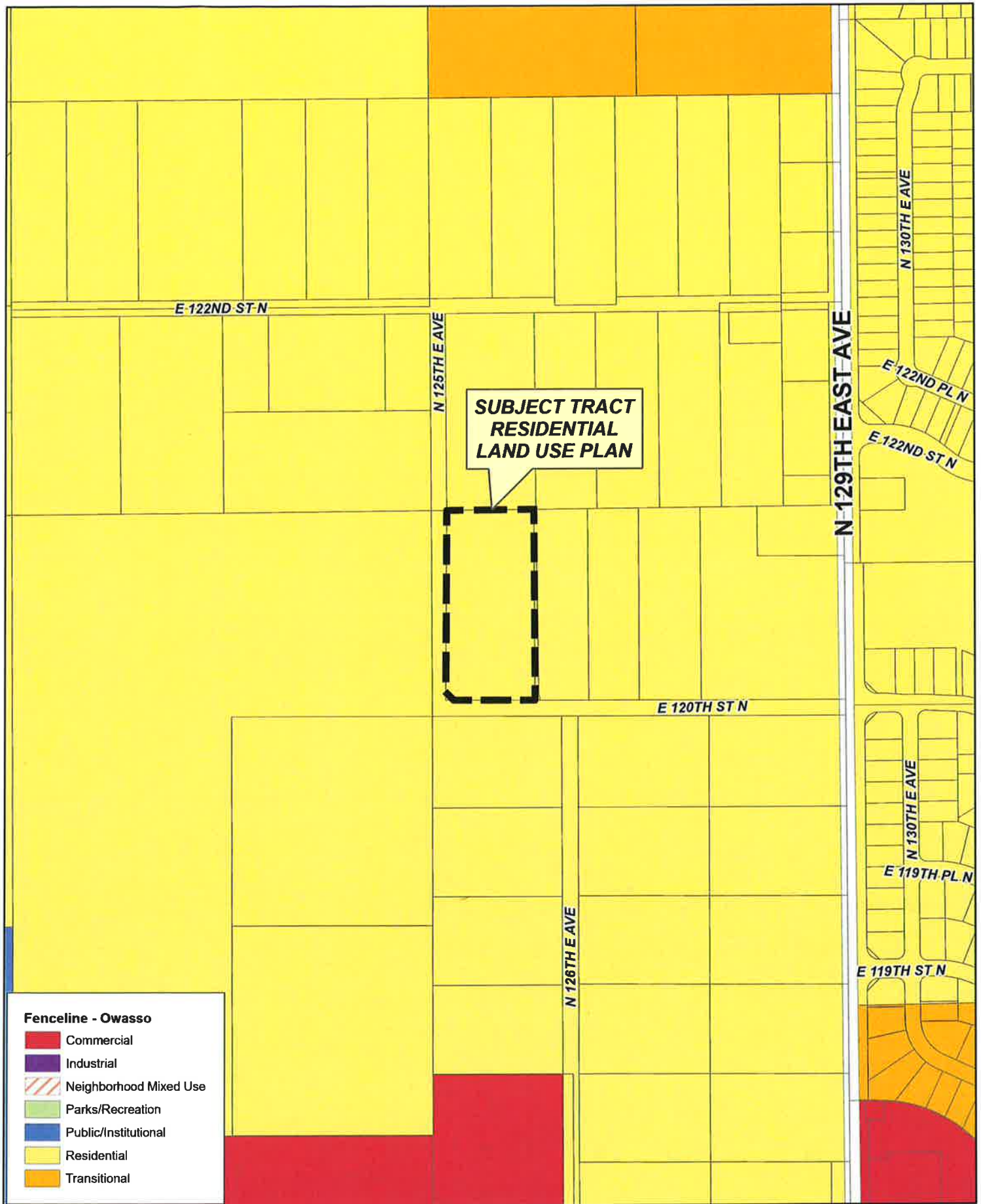
05 21-14

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2023

CBOA-3244 3.7

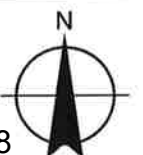




CBOA-3244

05 21-14

CBOA-3244 3.8



FORMER

J. and Sherrie Thompson

Jeannine Hoy

First American Title Insurance Company



NOTE:
FOUND IN TITLE COMMITMENT
DATED 11/10/2022:
E PROPERTY:
3 1402 (AS SHOWN)
PG 1870 (AS SHOWN)
PG 2262 (AS SHOWN)
PG 1446 (AS SHOWN)
PG 2160 (BLANKET ESMT,
ACT, EXACT LOCATION OF 20'
E ESMT CANNOT BE
T THE PROPERTY:
0008285
4010512

W. J. J. 11/30/22

W. J. J. 11/30/22
HIGHWAY DED.
BK 5585 PG 1870

INSPECTION:
12

IN:
AL DESCRIPTION.

REET NORTH, COLLINSVILLE, OK 74021

PECTION REPORT WAS PREPARED FOR FIRST AMERICAN TITLE INSURANCE COMPANY. IT IS NOT A LAND OR
PLAT, AND IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE
. THIS INSPECTION PLAT WAS PREPARED SOLELY FOR THE CLIENT LISTED HEREON AND MAY NOT BE USED FOR ANY
LOSING, REFINANCE, OR OTHER TRANSACTION; AND THAT NO RESPONSIBILITY OR LIABILITIES ASSUMED HEREIN
PRESENT OR FUTURE LAND OWNER OR OCCUPANT. THE ACCOMPANYING SKETCH IS A TRUE REPRESENTATION OF
IT WERE FOUND AT THE TIME OF THE INSPECTION, AND THE LINEAR AND ANGULAR VALUES SHOWN ON THE
BASED ON RECORD OR DEED INFORMATION AND HAVE NOT BEEN VERIFIED UNLESS NOTED. THE DWELLING LIES
BOUNDARIES OF THE DESCRIBED LOT UNLESS OTHERWISE NOTED. NO PROPERTY CORNERS WERE SET BY BAKER
GROUND UTILITIES WERE NOT FIELD LOCATED AND THEREFORE ARE NOT SHOWN ON THIS INSPECTION PLAT UNLESS
STATED BY THE CLIENT. BURIED SERVICE CABLE LOCATIONS ARE APPROXIMATE.

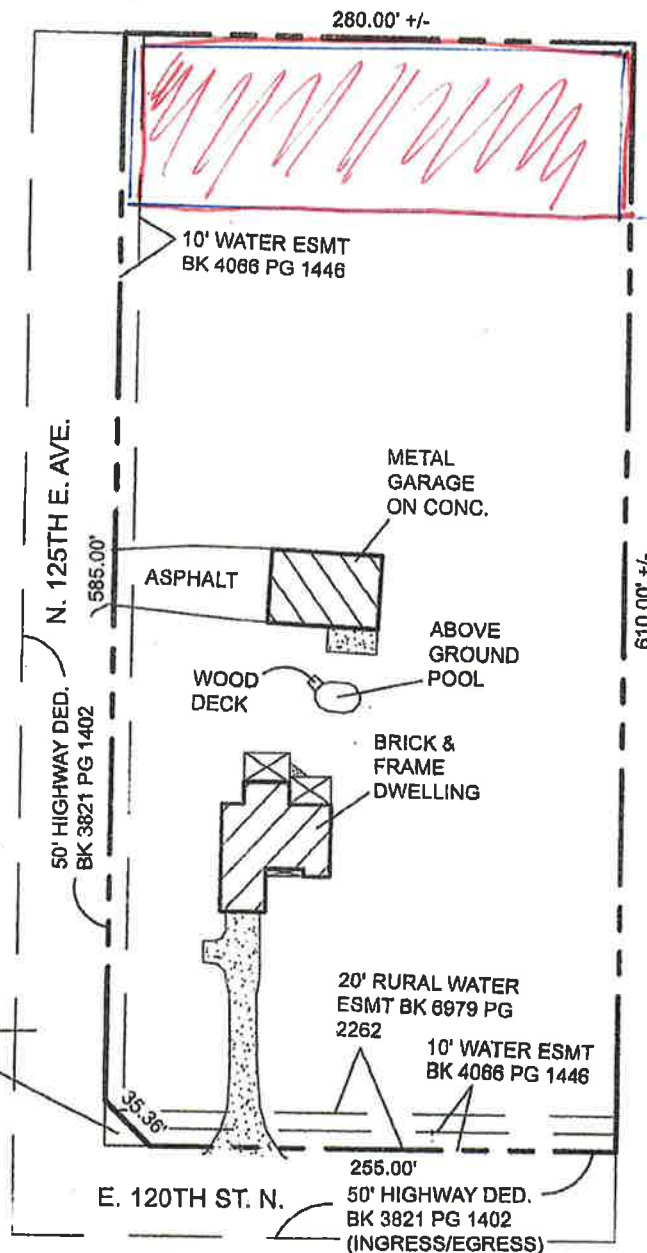
ND SEAL THIS DATE: NOVEMBER 21ST, 2022

.C
ST AVENUE

FLOOD PLAIN STATEMENT:

THIS PROPERTY IS LOCATED IN ZONE X (UNSHADED AREAS) PER FLOOD
INSURANCE RATE MAP 40143C0130K EFFECTIVE AUGUST 3, 2009. ZONE X
(UNSHADED) DEFINED AS AREA OF MINIMAL CHANCE OF FLOOD HAZARD.

SCALE: 1"=100'



PROFESSIONAL LAND
Gerald W.
Baker

CBOA-3244 3.9



Board of Adjustment

Case Number: CBOA-3245

Hearing Date: 3/18/2025 1:30 PM

Case Report Prepared by:

Jay Hoyt

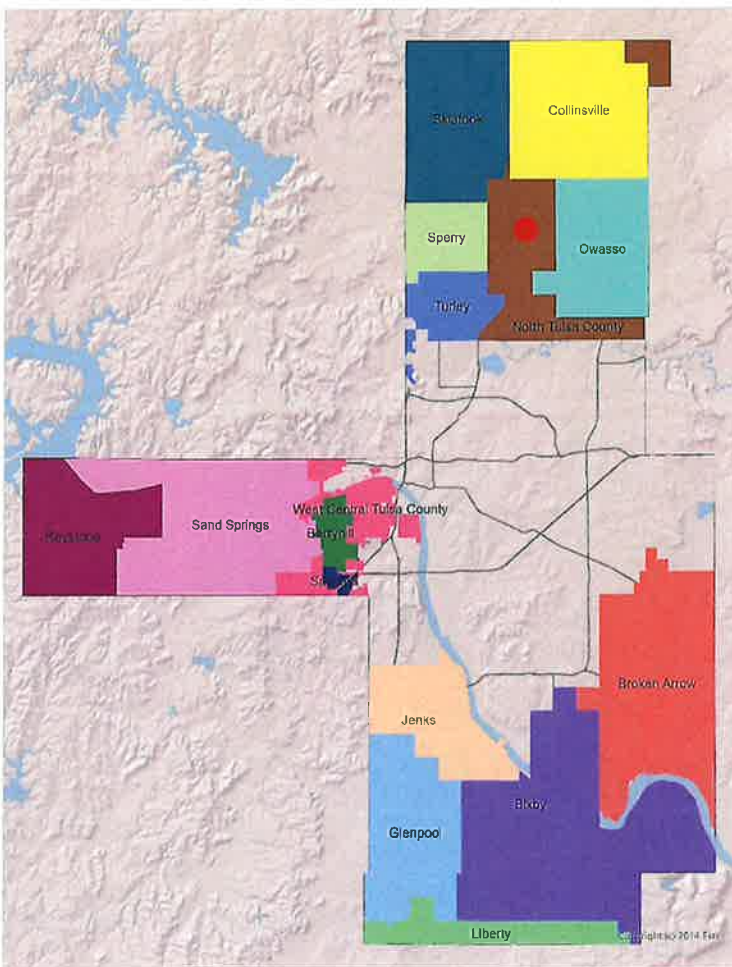
Owner and Applicant Information:

Applicant: Demarcus Bennett

Property Owner: Zaid Garcia

Action Requested: Special Exception to permit an outdoor marijuana grow operation in the AG district (Section 6.010, Table 6-1)

Location Map:



Additional Information:

Present Use: Residence

Tract Size: 10.00 acres

Location: 5925 E 106th St N

Present Zoning: AG

Fenceline/Area: North Tulsa County

Land Use Designation: Rural Residential/Agricultural

**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 1310

CASE NUMBER: CBOA-3245

CASE REPORT PREPARED BY: Jay Hoyt

HEARING DATE: 3/18/2025 1:30 PM

APPLICANT: Demarcus Bennett

ACTION REQUESTED: Special Exception to permit an outdoor marijuana grow operation in the AG district (Section 6.010, Table 6-1)

LOCATION: 5925 E 106th St N

ZONED: AG

FENCELINE: North Tulsa County

PRESENT USE: Marijuana Grow

TRACT SIZE: 10.00 acres

LEGAL DESCRIPTION: SE SW SE SEC 10-21-13 10 AC

RELEVANT PREVIOUS ACTIONS:

Surrounding Properties:

CBOA-2869 January 2021: The Board approved a Variance of the side setback from 15 ft to 10 ft in an AG district for a Horticulture Nursery (Section 330, Table 3)

CBOA-2805 March 2020: The Board approved a Variance of the required side yard setback in the AG district (Section 330, Table 3) and a Use Variance to allow Use Unit 25 for light industrial uses (Section 1225).

CBOA-2568 March 2016: The Board approved a Variance of the minimum lot area from 2 acres to 1.81 acres in the AG district (Section 330, Table 3) and a Variance of the minimum land area per dwelling unit (Section 330, Table 3) to permit a lot split.

ANALYSIS OF SURROUNDING AREA: The subject tract is zoned AG and contains a single-family residence. The tract is surrounded by AG zoning containing agricultural uses and single-family residences.

STAFF COMMENTS:

The applicant is before the Board to request a Special Exception to permit an outdoor marijuana grow operation in the AG district (Section 6.010, Table 6-1)

A special exception is required as the proposed outdoor marijuana grow operation is a use which is not permitted by right but by exception in the AG district because of potential adverse effects, but which if controlled in the particular instance as to its relationship to the neighborhood and to the general welfare, may be permitted. The outdoor marijuana grow operation must be found to be compatible with the surrounding neighborhood.

The applicant intends to use hoop houses to enclose the grow operation, but hoop house are not considered by the Tulsa County Zoning Code to qualify for the categorization of an indoor grow operation

CBOA-3245 4.2

REVISED 3/10/2025

If inclined to approve the request the Board may consider any condition it deems necessary in order to ensure that the proposed mobile home is compatible and non-injurious to the surrounding area.

Sample Motion:

"Move to _____ (approve/deny) a Special Exception to permit an outdoor marijuana grow operation in the AG district (Section 6.010, Table 6-1).

Subject to the following conditions, if any: _____.

In granting a Special Exception, the Board must find that the Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



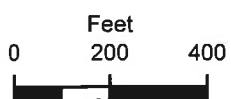
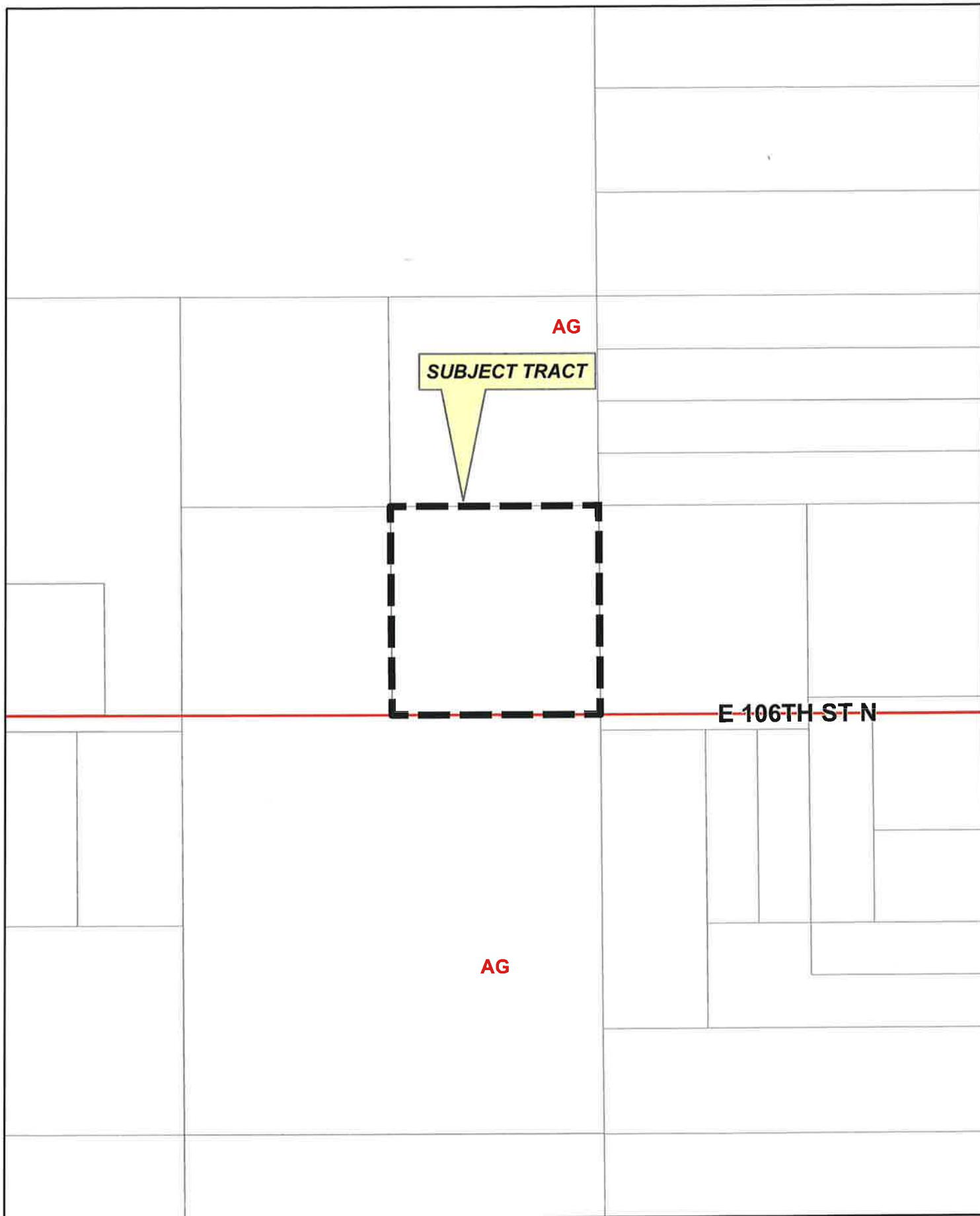
Subject tract looking Northwest from E 106th St N



Subject tract looking North from E 106th St N



Subject tract looking Northeast from E 106th St N



CBOA-3245

10 21-13

CBOA-3245 4.6





CBOA-3245

10 21-13

Note: Graphic overlays may not precisely align with physical features on the ground.

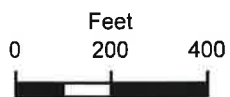
Aerial Photo by CBOA 3245 4.7

Feet
0 200 400



Subject
Tract





CBOA-3245

10 21-13

CBOA-3245 4.8





2/2/2024

ISSUED
2/2/2024

EDGAR GROW
5911 E 106th St N Sperry
Tulsa OK, 74073

REVISIONS
NO. DATE REVISION
1 2/2/2024

DESIGNED BY
PROJECT NUMBER
DRAWN BY
APP'D

COVER SHEET

CS1

GENERAL NOTES

- CONTRACTORS SHALL ACQUAINT THEMSELVES WITH ALL OWNER GENERAL CONTRACTOR REQUIREMENTS AND SHALL COMPLY FULLY WITH SUCH.
- CONTRACTORS SHALL CARRY ADEQUATE LIABILITY INSURANCES REQUIRED BY OWNER.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER CONTRACTORS FINISHING THE LABOR. THE WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUAINT THEMSELVES WITH THE DIMENSIONS OF ALL EXISTING BUILDINGS AND UTILITIES. ALL PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE SPACE WITH SUFFICIENT CLEARANCE, AND TO ENSURE THAT ADEQUATE FLOOR SPACE IS AVAILABLE.
- CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING, AND MILLWORK (CABINET SKETCHES/DETAILS ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO ANY WORK.
- DIMENSIONS ON PLANS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES TO THEIR WORK MADE NECESSARY BY THEIR FAILURE TO OBSERVE AND/OR REPORT THE CONDITION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STRUCTURE FOR INTERIOR PARTITIONS, CEILING, FLOORS, ETC. WHETHER SHOWN ON DRAWINGS OR NOT.
- PROVIDE AND INSTALL ALL NECESSARY IN-WALL FRAMING REQUIRED TO CARRY SHELF, HANGING, AND VALANCE LOADS, RAILINGS, ETC. AS PER PLANS.
- PROVIDE SILICONE SEALANT AT ALL JOINTS AND INTERFACES OF ALL COUNTERTOPS, EQUIPMENT, WALLS, ETC.

WALL TYPE GENERAL NOTES

- ALL INTERIOR STUD FRAMING TO BE 15" O.C. UNO.
- AVOID BACK-TO-BACK OUTLETS WHERE POSSIBLE. OUTLETS SHALL BE SPACED AT LEAST ONE STUD BETWEEN BOXES. A MINIMUM OFFSET OF 1" WITH AT LEAST ONE STUD BETWEEN BOXES IS REQUIRED BETWEEN COMMON PARTITION WALL BETWEEN ADJACENT ROOMS.
- WHERE DIFFERENT WALL TYPES OF THE SAME STUD ROOM OR WALL PLANE.
- WALL TYPES ABOVE WINDOWS, DOORS, OR FRAMED OPENINGS SHALL BE THE SAME AS ADJACENT WALL. CONSTRUCTION AS NOTED ON FLOOR PLANS, UNO.
- AT WALLS WITH CERAMIC TILE FINISH (PER ROOM FINISH SCHEDULE AND FLOOR PLANS), USE 5/8" CEMENTIOUS BACKER IN LIEU OF GYP BD.
- USE MOISTURE-RESISTANT GYP BD AS NECESSARY IN WET ROOMS (BATHROOMS, LAUNDRY, KITCHEN, ETC.). ALL WALLS ARE FULL HEIGHT UNLESS NOTED OTHERWISE ON FLOOR PLANS.

NOTE: WALL TYPES SHOWN ON FLOOR PLANS WITH "U" MARKS ARE TYPICAL FOR INTERIOR CONSTRUCTION ONLY. ALL EXTERIOR WALL TYPES ARE TYPICAL ON THE PLANS AND SHOWN IN WALL SECTIONS AND DETAILS.

PROJECT INFORMATION-METAL BUILDING

- E. EGRESS:
OCCUPANT LOADS:
STAR WIDTH PROVIDED: N/A
MAX TRAVEL WIDTH REQUIRED: N/A
EGRESS WIDTH PROVIDED: N/A
MINIMUM DOOR WIDTH: 32"
- F. TOILET CALCULATIONS:
OCCUPANT LOAD 6
WATER CLOSETS REQUIRED: 1
LAVATORIES REQUIRED: 1
PORTAJOHNS REQUIRED: 1
JANITOR SINK PROVIDED: 1
DRINKING FOUNTAIN PROVIDED: 1
BUBBLER PROVIDED
- A. OCCUPANCY CLASSIFICATION: FACTORY INDUSTRIAL - F1
B. OCCUPANT LOAD CALCULATIONS
SF 1,500. SF/PP 300
OCCUPANT LOAD 5
C. CONSTRUCTION TYPE: 2B
D. ALLOWABLE AREA AND HEIGHT CALCULATIONS:
ALLOWABLE HEIGHT: 15
ACTUAL HEIGHT: 12
ALLOWABLE STORIES: 2
ACTUAL STORIES: 1
ALLOWABLE AREA: 1,500
ACTUAL AREA: 1,000



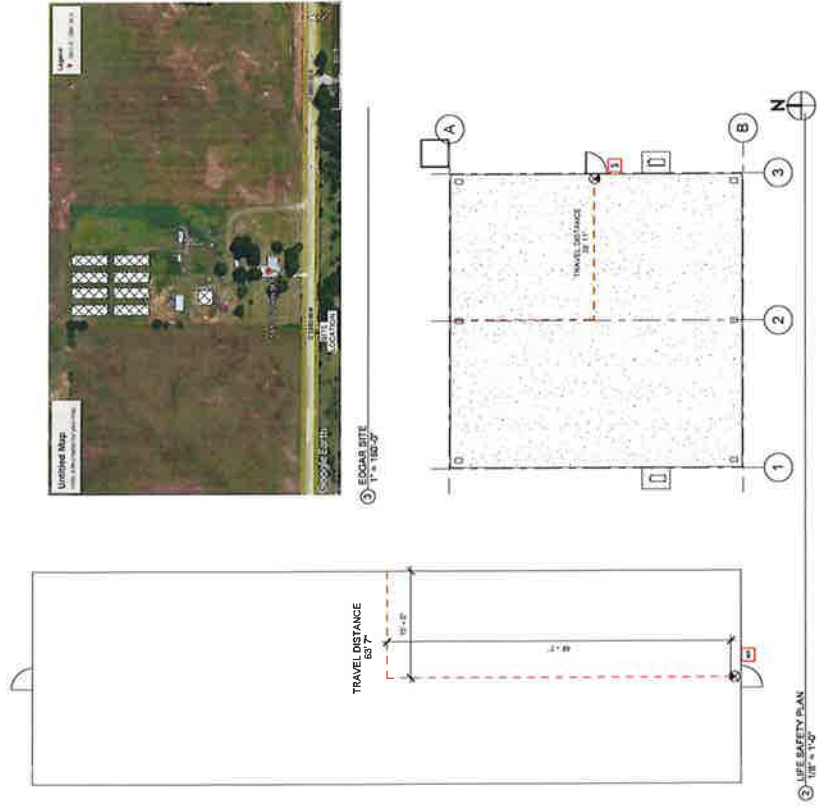
LEGAL DESCRIPTION

GENERAL INFORMATION:
COUNTY: ROGERS
TAX MAP: 10-0000-00
PARCEL ID: 211100-10-0000-00
ZONING: RESIDENTIAL SINGLE-FAMILY 2
DISTRICT: NORTH
NORTH: RANGE 14 EAST FROM A GRIFFIN TOWNSHIP 21
DISTRICT) TO 43-55 (RESIDENTIAL SINGLE-FAMILY 2
DEVELOPMENT).
LOT SIZE: 0.53 ACRES
FINISHED AREA: 5,003
PROPOSED BUILDING: METAL BUILDING

PROJECT INFORMATION-HOOP HOUSE

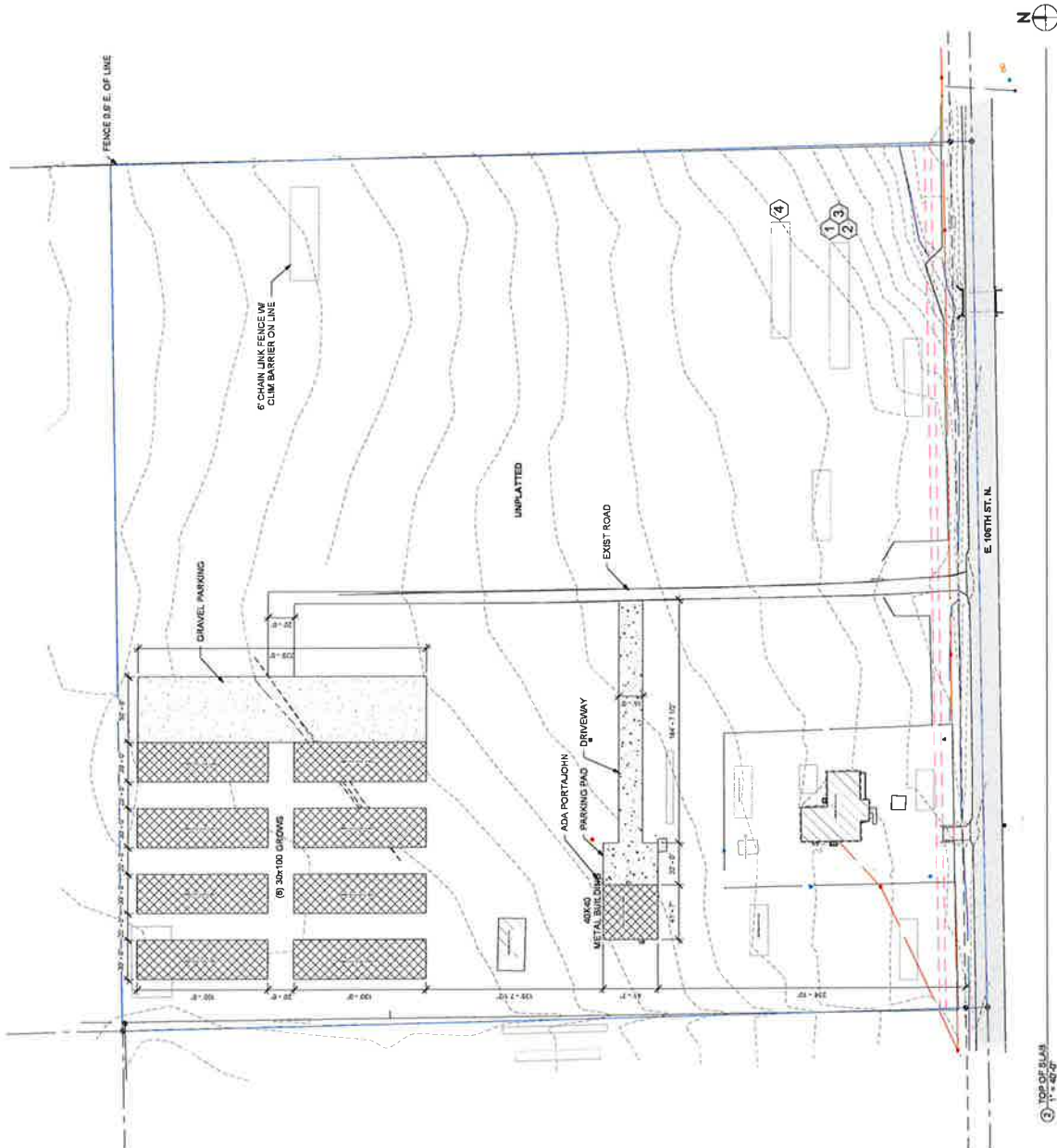
- E. EGRESS:
OCCUPANT LOADS:
STAR WIDTH PROVIDED: N/A
MAX TRAVEL WIDTH REQUIRED: N/A
EGRESS WIDTH PROVIDED: N/A
MINIMUM DOOR WIDTH: 32"
- F. TOILET CALCULATIONS:
OCCUPANT LOAD 10
WATER CLOSETS REQUIRED: 1
LAVATORIES REQUIRED: 1
PORTAJOHNS REQUIRED: 1
JANITOR SINK PROVIDED: 1
DRINKING FOUNTAIN PROVIDED: 1
BUBBLER PROVIDED
- A. OCCUPANCY CLASSIFICATION: FACTORY INDUSTRIAL - F1
B. OCCUPANT LOAD CALCULATIONS
SF 3,000. SF/PP 300
OCCUPANT LOAD 10
C. CONSTRUCTION TYPE: U
D. ALLOWABLE AREA AND HEIGHT CALCULATIONS:
ALLOWABLE HEIGHT: 40
ACTUAL HEIGHT: 1
ALLOWABLE STORIES: 1
ACTUAL STORIES: 1
ALLOWABLE AREA: 1,500
ACTUAL AREA: 3,000

LIFE SAFETY PLAN



SITE PLAN NOTES

1. ALL EXISTING DRAINAGE FROM THE PROPERTY TO REMAIN AS-IS, UNALTERED.
2. CONTRACTOR SHALL INSTALL AND MAINTAIN ALL BARRIERS FOR EROSION CONTROL FOR THE DURATION OF THE PROJECT.
3. ALL GRADES ADJACENT TO STRUCTURE SHALL SLOPE AWAY FROM THE STRUCTURE AT A MINIMUM OF 6" PER 10'-0".
4. NEW CONSTRUCTION SHALL NOT CAUSE ANY ADDITIONAL RUNOFF ONTO ADJACENT PROPERTIES OR WATERSHED.
5. CONTRACTOR SHALL VERIFY IN FIELD ALL CONDITIONS.
6. ALL EXISTING SITE ACCESS AND AMENITIES TO REMAIN UNALTERED.
7. CONTRACTOR TO FOLLOW EROSION PREVENTION AND SITE STABILIZATION PRACTICES AS REQUIRED FOR DISTURBED SOIL PER MINNIE CREEK WATERSHED DISTRICT EROSION CONTROL MANUAL. METHODS SUCH AS MULCH, ETC. TEMPORARY STABILIZATION METHODS MUST BE USED UNTIL PERMANENT STABILIZATION METHODS ARE ESTABLISHED. REFER TO MINNESOTA STORMWATER MANUAL FOR REQUIREMENTS.





PROJECT NO.
20170224

EDGAR GROW
5911 E 106th St N Sperry
Tulsa OK, 74073

DESIGNED BY
DATE

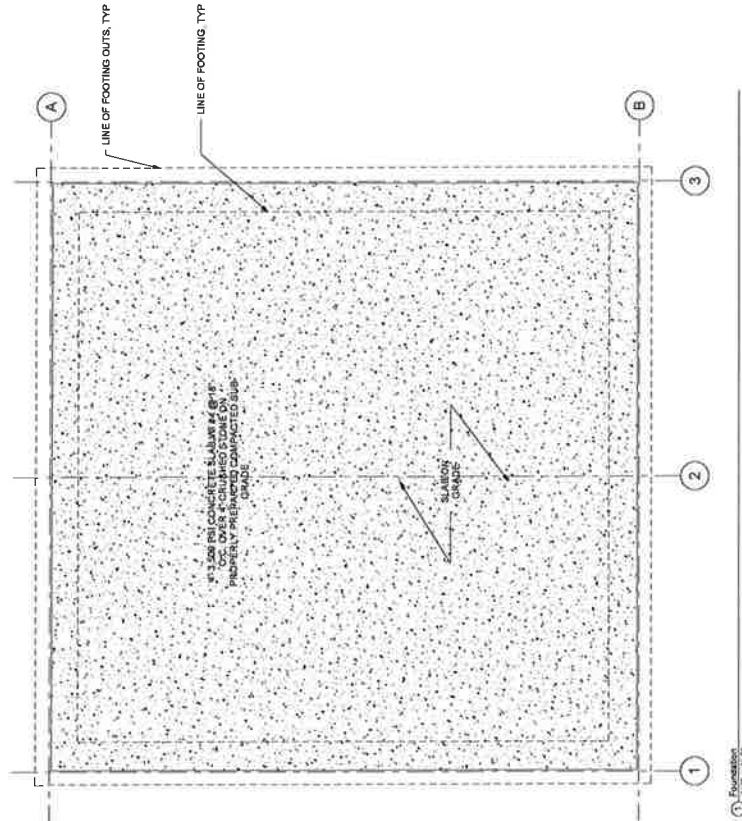
PROJECT NO.
PROJECT NAME
SUBMITAL
DATE

FOUNDATION

S1

FOUNDATION GENERAL NOTES

1. STRUCTURAL ELEMENTS ARE NON-SELF SUPPORTING AND ARE DESIGNED TO BE SUPPORTED BY EXISTING FOUNDATIONS. ALL FOUNDATIONS SHALL BE DESIGNED FOR STABILITY AND RESISTANCE TO LATERAL FORCES. FRAMING AND WALLS SHALL BE TEMPORARILY BRACED DURING CONSTRUCTION TO PREVENT OVERSTRESSING. FLOORS, ROOF DECKS, AND WALLS HAVE BEEN INSTALLED AND CONNECTIONS BETWEEN THESE ELEMENTS HAVE BEEN MADE.
2. ISOLATED AND CONTINUOUS FOOTINGS ARE FOR A NET ALLOWABLE BEARING PRESSURE OF 2000 PSF.
3. EXTERIOR FOOTINGS SHALL BEAR AT OR BELOW MINIMUM BEARING DEPTH. MINIMUM BEARING DEPTH IS 24" BELOW FINISHED GRADE ON COMPETENT SOIL.
4. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI.
 - EXTERIOR WALLS - 5000 PSI
 - ALL OTHER CONCRETE - 3000 PSI
5. REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH (FY) OF 60 KSI. REINFORCING BARS SHALL BE SPliced A MINIMUM OF 48 BAR DIAMETERS, 24 INCHES, OR GREATER, UNLESS OTHERWISE NOTED.
6. "C.J." INDICATES SAWCUT JOINT OR DOWLED CONSTRUCTION JOINT IN SOLE.
7. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE DURING CONSTRUCTION TO PREVENT WATER FROM SUBGRADE SHALL NOT BE ALLOWED TO RETAIN WATER DURING CONSTRUCTION.





03/12/2024

REVISION
03/12/2024

GENERAL NOTES

1. Move some of your soil from the high side to build the low side of your location. You may need to build a foundation to support the structure. The closer your foundation is to level, before you build the hoop house or greenhouse, the better your results will be.

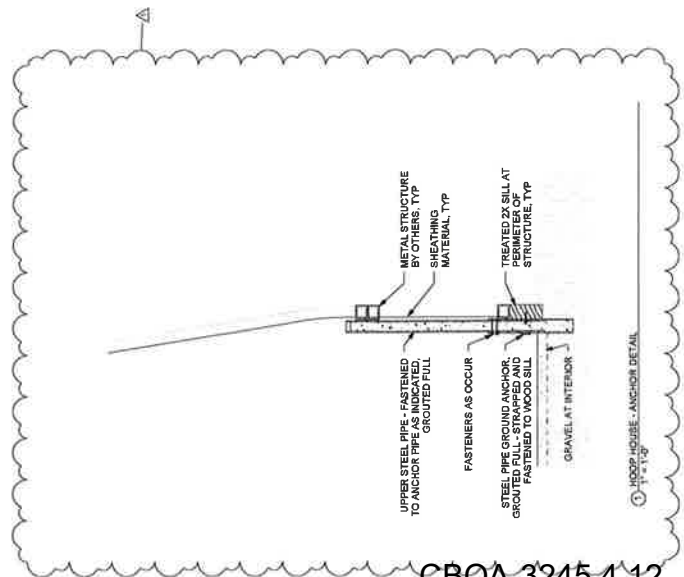
EDGAR GROW
5911 E 106th St N Sperry
Tulsa OK, 74073

DRAWING
NO. 1
DATE 03/12/2024
NAME
REVIEW

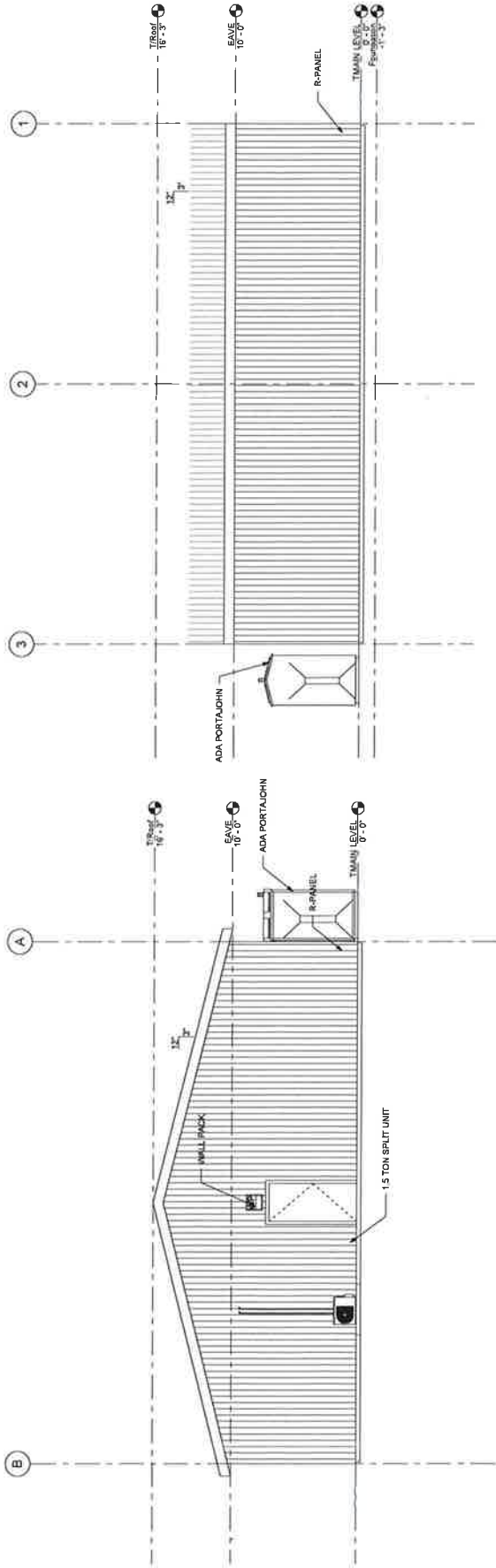
PROJECT NO.
PROJECT NAME
SHEET NO.
SHEET TOTAL

FOUNDATION
DETAILS

S2

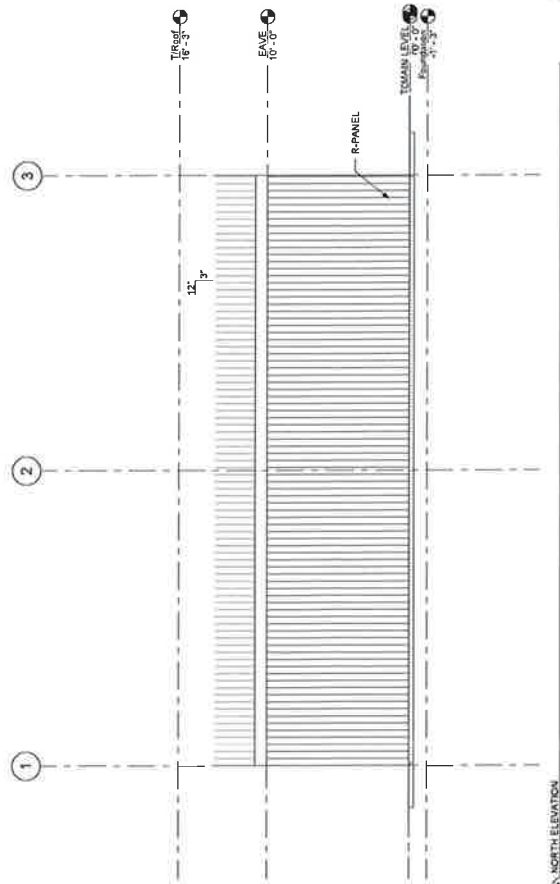


CBOA-3245 4.12

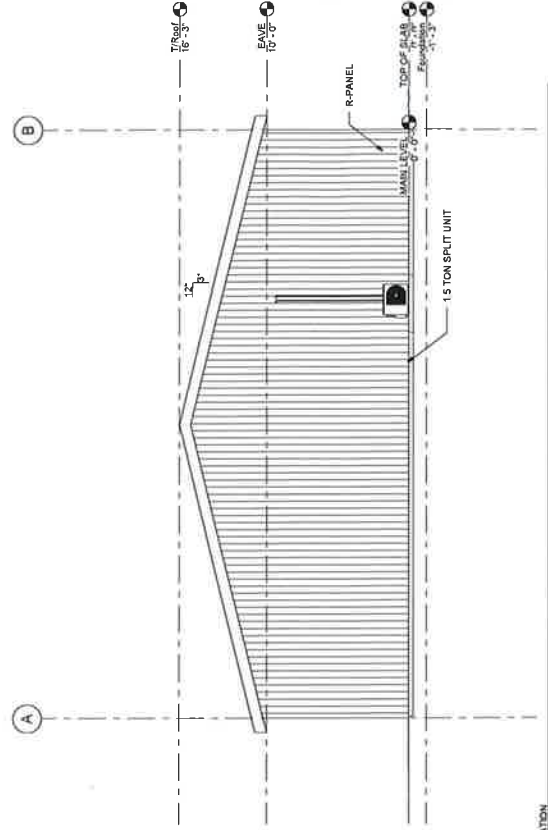


1 EAST ELEVATION
1/4" = 1'-0"

3 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

ELEVATIONS

A3

FRAMING GENERAL NOTES

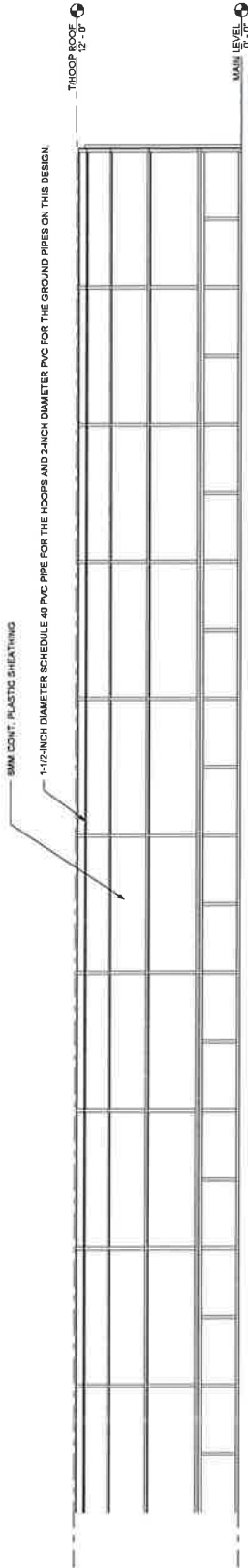
1. ALL PLAN DIMENSIONS ARE TO FACE OF ONE FACE OF STUDS, FACE OF JOISTS, OR FACE OF PARTITION WALLS, AND CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED.
2. CONTRACTOR(S) SHALL NOT SCALE DRAWINGS FOR CONSTRUCTION DIMENSIONS. ALL DIMENSIONS SHALL BE VERIFIED WITH DIMENSIONAL LINES AND DIMENSIONS NOT APPEARING SHALL BE VERIFIED WITH ARCHITECT.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
4. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH WINDOW SUPPLIERS AND MAKE SURE THEY ARE CORRECT FOR WINDOW SIZES AND TYPES.
5. UNLESS OTHERWISE NOTED, LOCATE ALL DOOR OPENINGS 3" FROM FINISH FACE OF ADJACENT WALL.
6. GROUND FLOOR LEVEL ELEVATIONS MATCH THE VERIFIED SURVEY PFE.
7. INTERIOR STUD WALLS SHALL EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE UNLESS OTHERWISE NOTED.
8. INTERIOR STUD WALLS SHALL BE PROPERLY ANCHORED TO FLOOR OR ROOF DECK PARTITIONS FOR PROPER ANCHORAGE OF WALL ATTACHED ITEMS AS REQUIRED (BATHROOM ACCESSORIES, CASEWORK, MILLWORK, WALLMOUNTED TV, ETC).
9. REFER TO NOTES AND FINISH SCHEDULES FOR COLOR AND MATERIALS FOR CEILINGS, WALLS, TRIM, BASE, AND FLOOR INFORMATION NOT DOCUMENTED ELSEWHERE.

RCP & POWER GENERAL NOTES

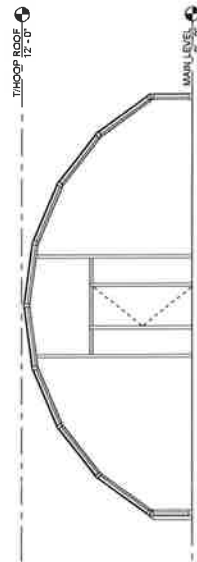
1. ELECTRICAL AND MECHANICAL SYSTEMS ARE SHOWN FOR INFORMATION ONLY. LOCATION AND TYPE OF EQUIPMENT SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE SHOWN ON THE COMPLETE ELECTRICAL AND MECHANICAL DESIGN. ALL DESIGNS AND INSTALLATIONS SHALL COMPLY WITH LOCAL JURISDICTIONAL CODES AND ORDINANCES.
2. CONTRACTOR SHALL COORDINATE AND PROVIDE ALL NECESSARY PENETRATIONS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT WHETHER REFLECTED ON PLANS OR NOT.
3. ALL OUTLETS IN WET ROOMS (BATHROOMS, KITCHEN, ETC) TO USE GFI RECEPTACLES.
4. BATHROOM VENTILATION TO MEET REQUIREMENTS PER IRC R303.3 - MINIMUM VENTILATION RATE OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION.
5. UNDERCABINET LIGHTING AT ALL KITCHEN UPPER CABINETS.

LIGHT FIXTURE & DEVICE LEGEND

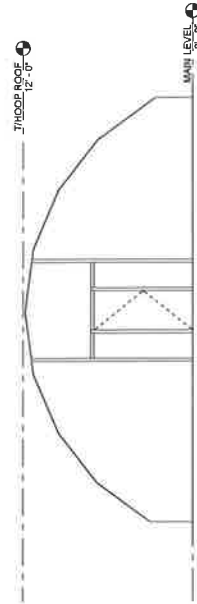
	12" x 12" Recessed Can Light
	6" Recessed Track Light
	12" x 12" Surface Mount Light
	4' x 2' Recessed Linear Light
	2' x 4' Recessed Linear Light
	1' x 4' Recessed Linear Light
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	4' x



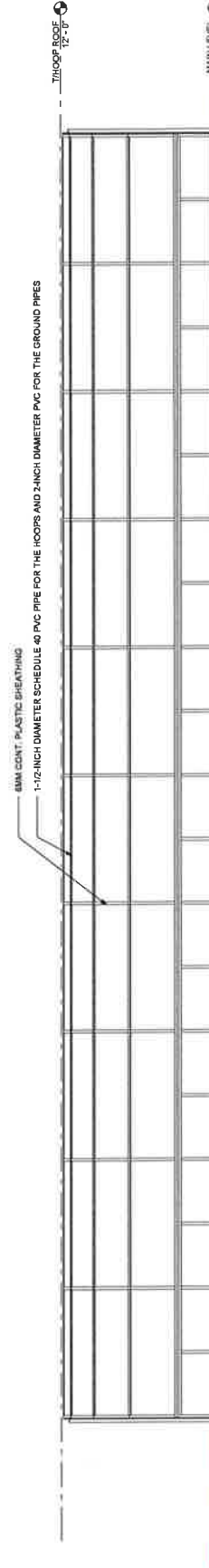
1 H.H. EAST
1/4" = 1'-0"



2 H.H. NORTH
1/4" = 1'-0"



3 H.H. SOUTH
1/4" = 1'-0"



4 H.H. WEST
1/4" = 1'-0"



ACCESSORY BUILDING
6312 EAST 106TH STREET NORTH
SPERRY, OK 74073

SPERRY, OK 74073

DRAWING: **SITE PLAN**

PERMIT SET

DATE: 6/9/2021

SCALE: AS NOTED

SHEET:

A101



LOCAL DISPOSITION:

TOTAL OF LAND IN THE NORTHEAST QUARTER OF SECTION 16 OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (MEANE/AN/E/IN) OF SECTION FIFTEEN (15), TOWNSHIP THIRTY-ONE (31), NORTH, RANGE THIRTIETH (30), EAST, TULSA COUNTY, OKLAHOMA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

STARTING AT THE NORTHEAST CORNER OF SAID SECTION 15, THENCE

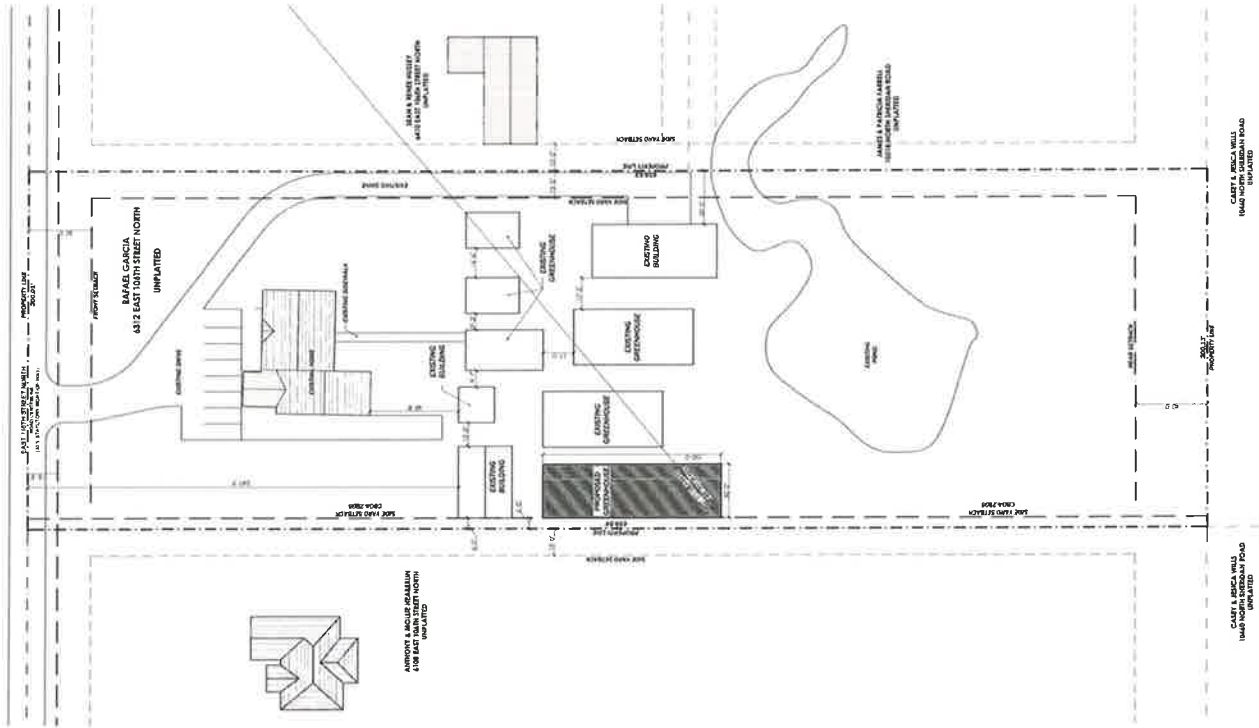
SOUTH ALONG THE NORTHERN LINE OF SAID SECTION 15, 150 FEET; WEST ALONG THE NORTHERN LINE OF SECTION FIFTEEN (15), 150 FEET; SOUTH ALONG THE WESTERN LINE OF SECTION FIFTEEN (15), 150 FEET; EAST PARALLEL WITH THE EASTERLY LINE OF SECTION 15 FOR 689.83 FEET TO A POINT ON THE SOUTHWESTY LINE OF THE NE ¼/4 NE ¼/4, THEREUPON +8°25' WEST ALONG SAID SOUTHWESTY LINE A DISTANCE OF 200.23 FEET TO THE SOUTHWEST CORNER OF SAID NE ¼/4 NE ¼/4 OF SECTION 15, THENCE SOUTH 00° 13'20" WEST ALONG THE WESTCUTY LINE THEREOF FOR 88.75 FEET; SOUTH 00° 13'20" WEST ALONG THE WESTCUTY LINE THEREOF FOR 88.75 FEET; ALONG THE WESTCUTY LINE THEREOF, OF SECTION 15, 691.20 FEET TO THE POINT OF BEGINNING.

PRECISION CONTROL MOTORS

- EXPOSED PORTION DURING CONSTRUCTION:**
1. MINIMIZE SOIL DISTURBANCE BY MINIMUM EXPOSURE TO CONSTRUCTION LIMITS.
 2. ALL EXPOSED SOIL SHALL BE MULCHED WITH LEAF OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION OF A RATE OF 2.00 POUNDS/AC. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 P. AC/AC OR PER MANUFACTURER'S RECOMMENDATION IF AVAILABLE.
 3. APPLICATION OF TACKIFIER SHALL BE INCREASED AT EDGES IN VALLEYS AND CRACKS OF BANKS AND OTHER AREAS WHERE SOIL CAN BE MOVED BY WIND OR WATER.
 4. ALL EXPOSED AREAS SHALL OVERFLOW INTO A TIE-IN UNDISTURBED GRASSING. NO SOIL DISTURBANCE SHALL OCCUR DURING FRANCHISE GRASSING.

CONTACT NUMBER:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSED TRENCHES.
4. AREAS TO BE FILLED SHALL BE CLEARED, CRUSHED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER UNDESIRABLE MATERIAL AND STRIPPED OF TOPSOIL.
5. PLACE FILL SLIDES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.





ACCESSORY BUILDING
6312 EAST 106TH STREET NORTH
SPERRY, OK 74073

**DRAWING:
ELECTRICAL &
FRAMING PLAN**

PERMIT SET

DATE: 6/9/2021

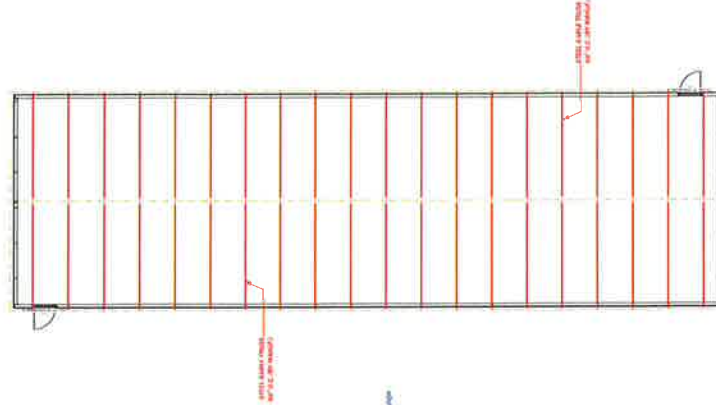
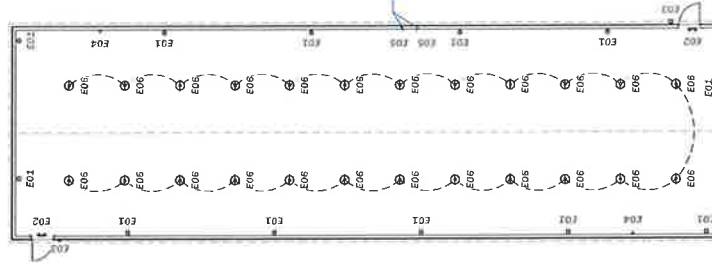
SCALE: $1/8" = 1'-0"$

A102

ELECTRICAL SCHEDULE			
NUMBER	QTY	DESCRIPTION	COMMENTS
E01	12	2" X 4" X 8' WALL	12" X 8"
E02	2	EMERGENCY LIGHT & EXIT	13"
E03	2	EMERGENCY BALLAST	16"
E04	2	EXTINGUISHING	86"
E05	2	COSMOWAY DETECTOR	WALL
E06	2	ELECTRICAL PANEL	WALL
E07	2	200 AMP	200 AMP
E08	2	200 AMP	200 AMP
E09	2	200 AMP	200 AMP
E10	2	200 AMP	200 AMP
E11	2	200 AMP	200 AMP
E12	2	200 AMP	200 AMP
E13	2	200 AMP	200 AMP
E14	2	200 AMP	200 AMP
E15	2	200 AMP	200 AMP
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E30	2	200 AMP	200 AMP
E31	2	200 AMP	200 AMP
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E96	2	200 AMP	200 AMP
E97	2	200 AMP	200 AMP
E98	2	200 AMP	200 AMP
E99	2	200 AMP	200 AMP
E100	2	200 AMP	200 AMP

4) ELECTRICAL SCHEDULE

CONTINUOUS FOOTING SCHEDULE	
MARK	SITUATION
C#1	2'-0" X 2'-0"
C#1.5	1'-6" X 2'-0"
	TAKE AS C#1

[illegible]

1 FOUNDATION PLAN

2 ELECTRICAL PLAN

3 FRAMING PLAN



ACCESSORY BUILDING

6312 EAST 106TH STREET NORTH
SPERRY, OK 74073

DRAWING:
STRUCTURAL
NOTES

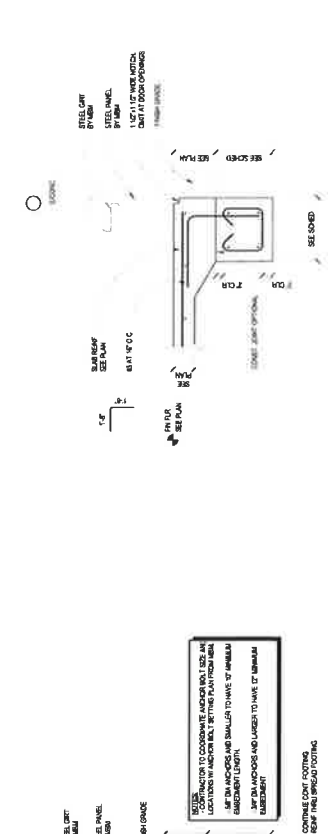
PERMIT SET

DATE: 6/9/2021

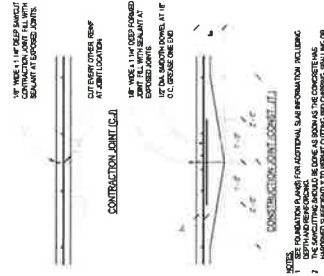
SCALE:

SHEET:

S001

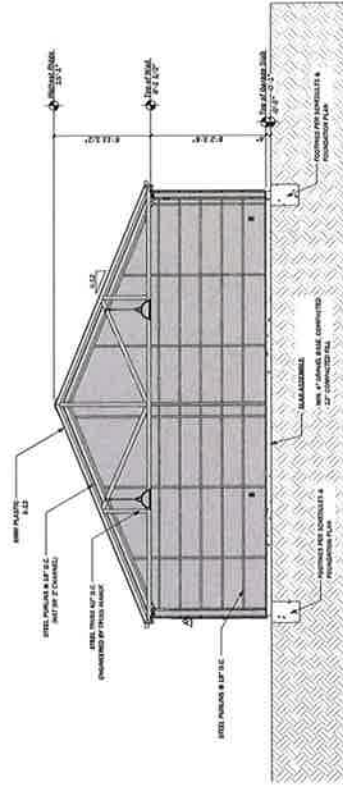


6 FOOTING DETAIL 3/4" = 1'-0"

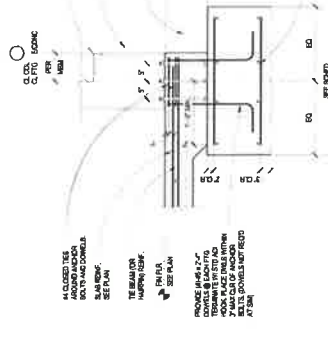


1 CORNER BAR DETAILS 1/2" = 1'-0"

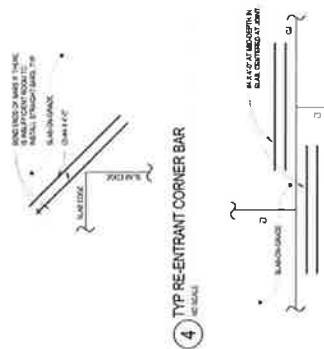
2 JOINT DETAILS 1/2" = 1'-0"



1 S1 SECTION 1/2" = 1'-0"

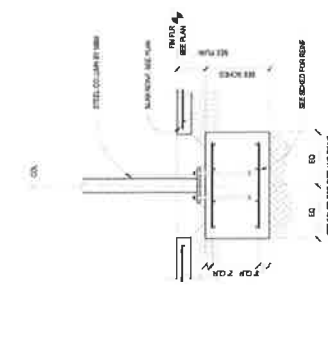


7 FOOTING DETAIL 3/4" = 1'-0"

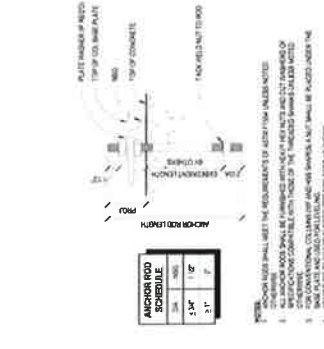


4 TYP RE-ENTRANT CORNER BAR 1/2" = 1'-0"

3 REINFORCING AT SLAB JOINT 1/2" = 1'-0"

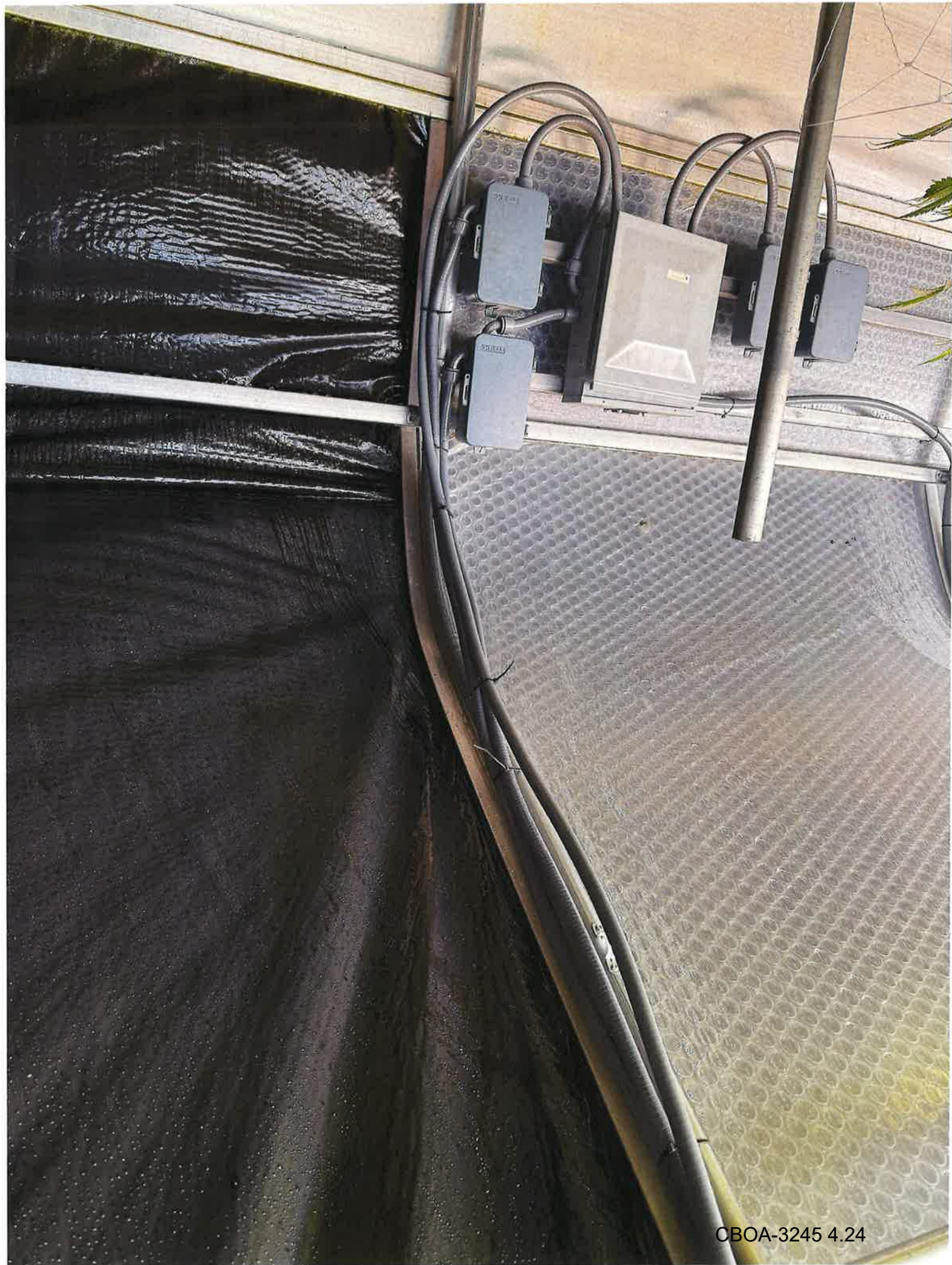


8 FOOTING DETAIL 3/4" = 1'-0"



5 ANCHOR ROD DETAILS 1/2" = 1'-0"





CBOA-3245 4.24





Case Number: CBOA-3246

Hearing Date: 3/18/2025 1:30 PM

Case Report Prepared by:

Jay Hoyt

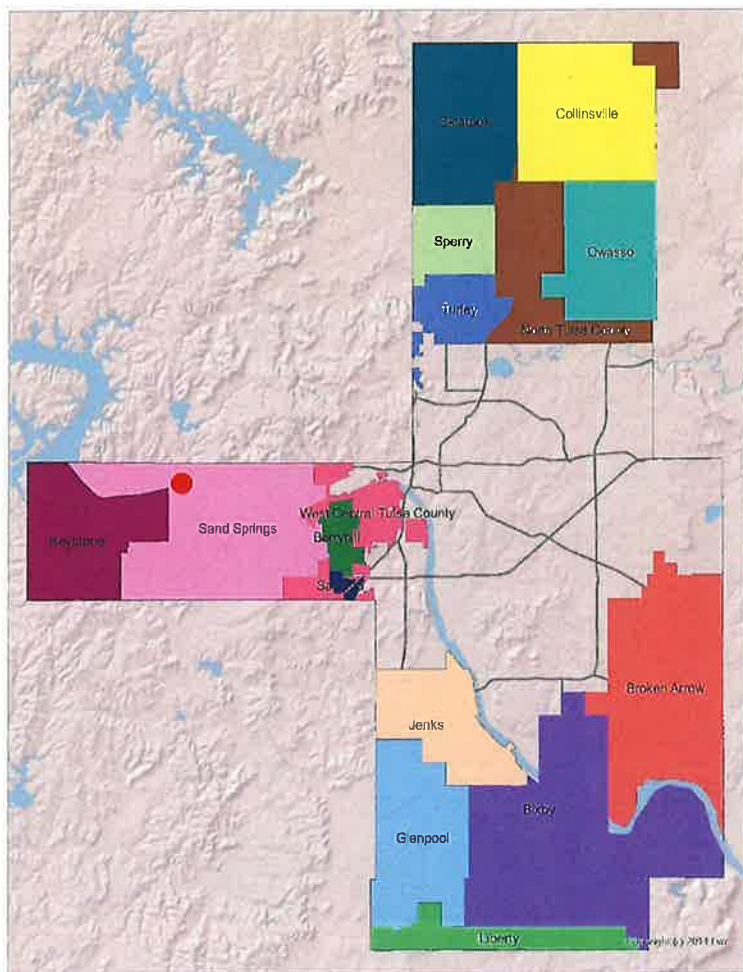
Owner and Applicant Information:

Applicant: Jim Meadows

Property Owner: Pamela & Kenneth Shelton

Action Requested: Special Exception to permit a Recreation Vehicle as a living space in the AG district (Section 8.160)

Location Map:



Additional Information:

Present Use: Residence

Tract Size: 2.5 acres

Location: 17111 W Wekiwa Rd

Present Zoning: AG

Fenceline/Area: Sand Springs

Land Use Designation: Residential

**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 9106

CASE NUMBER: CBOA-3246

CASE REPORT PREPARED BY: Jay Hoyt

HEARING DATE: 3/18/2025 1:30 PM

APPLICANT: Jim Meadows

ACTION REQUESTED: Special Exception to permit a Recreation Vehicle as a living space in the AG district (Section 8.160)

LOCATION: 17111 W Wekiwa Rd

ZONED: AG

FENCELINE: North Tulsa County

PRESENT USE: Residence

TRACT SIZE: 2.5 acres

LEGAL DESCRIPTION: PRT W/2 SEC BEG 1526.03S & 1764.35E NWC SW TH NE229.5 N469.89 TO SL KEYSTONE EXPRESSWAY TH SW228.94 S476.76 POB SEC 6 19 11 2.50ACS

RELEVANT PREVIOUS ACTIONS: None Relevant

ANALYSIS OF SURROUNDING AREA: The subject tract is zoned AG and contains a single-family residence. The tract is surrounded by AG zoning containing single-family residences.

STAFF COMMENTS:

The applicant is before the Board to request a Special Exception to permit a Recreation Vehicle as a living space in the AG district (Section 8.160)

A special exception is required as the proposed Recreational Vehicle as a living space is a use which is not permitted by right but by exception in the AG district because of potential adverse effects, but which if controlled in the particular instance as to its relationship to the neighborhood and to the general welfare, may be permitted. The Recreational Vehicle as a living space must be found to be compatible with the surrounding neighborhood.

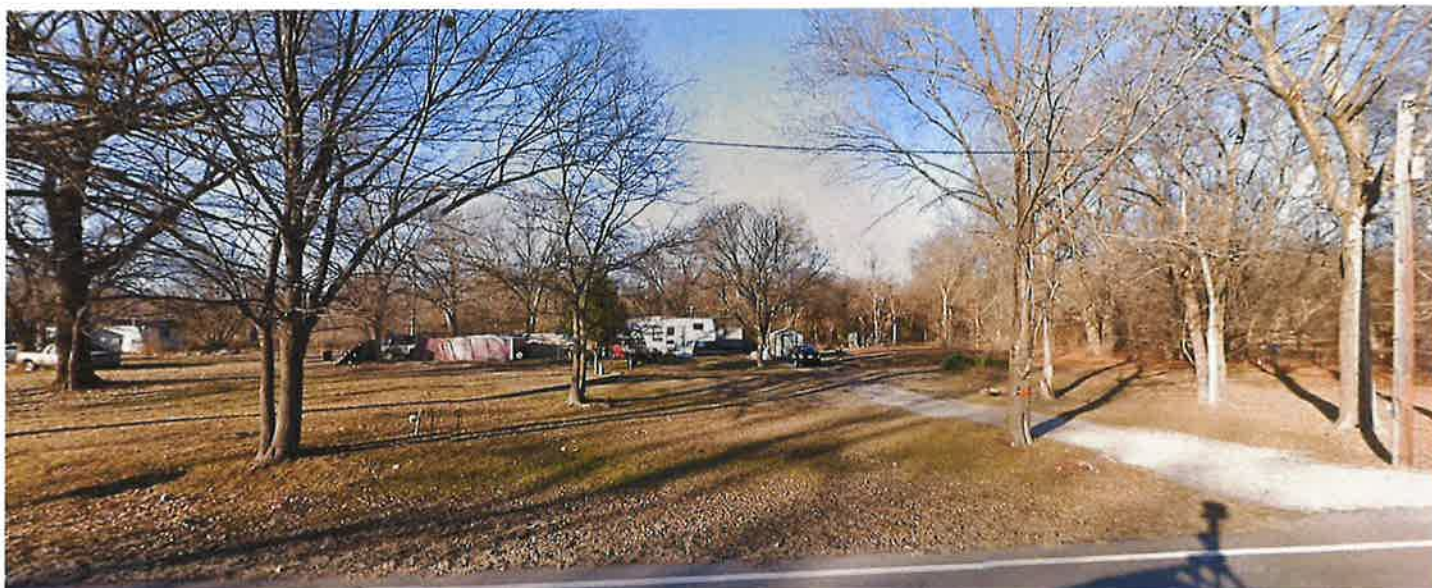
If inclined to approve the request the Board may consider any condition it deems necessary in order to ensure that the proposed recreational vehicle is compatible and non-injurious to the surrounding area.

Sample Motion:

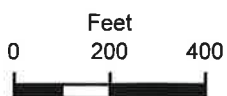
"Move to _____ (approve/deny) a Special Exception to permit a Recreation Vehicle as a living space in the AG district (Section 8.160).

Subject to the following conditions, if any: _____

In granting a Special Exception, the Board must find that the Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.



Subject tract looking North from W Wekiwa Rd



CBOA-3246

06 19-11



CBOA-3246 5.4



0 Feet 200 400



Subject Tract

CBOA-3246

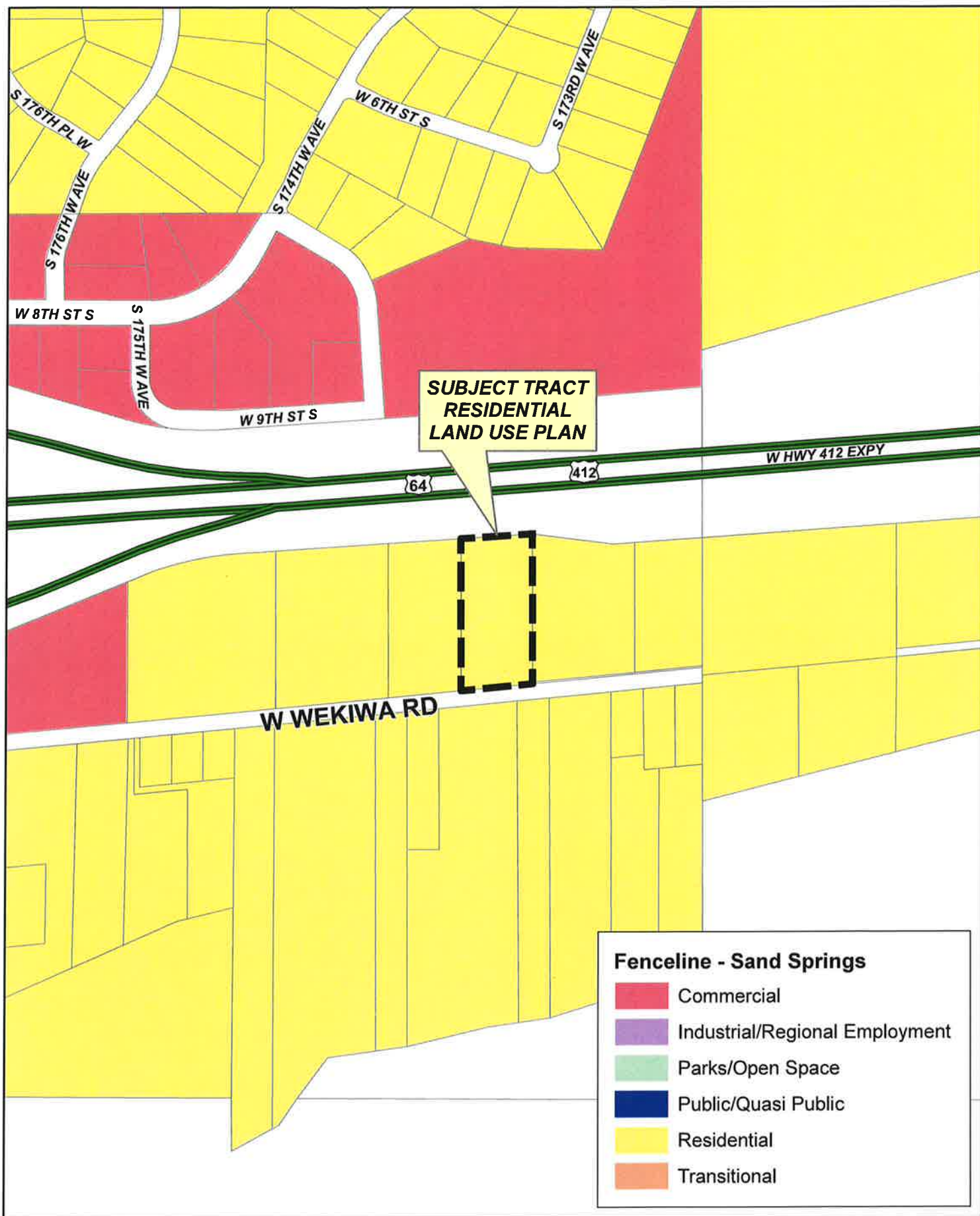
06 19-11

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2023

CBOA-3246 5.5





CBOA-3246

06 19-11

CBOA-3246 5.6



Case Number: CBOA-3248

Hearing Date: 3/18/2025 1:30 PM

Case Report Prepared by:

Jay Hoyt

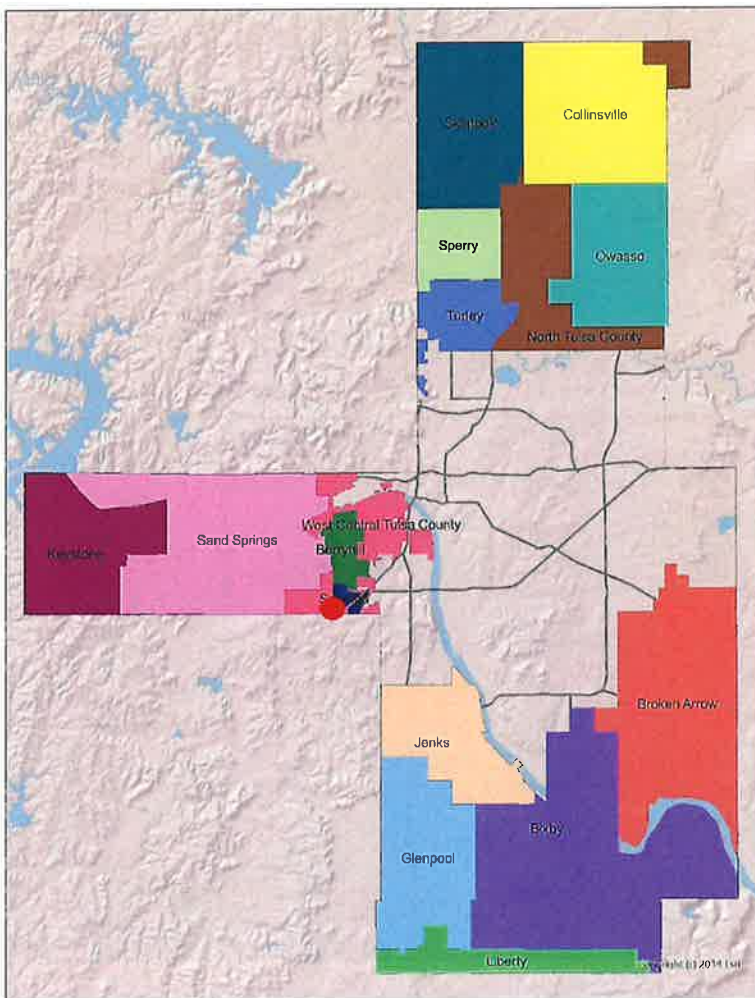
Owner and Applicant Information:

Applicant: Dakota Wayne Burris

Property Owner: Same

Action Requested: Use Variance to permit an RV park in the RS district (Section 6.010, Table 6-1)

Location Map:



Additional Information:

Present Use: Vacant

Tract Size: 5.544 acres

Location: 5760 S 65th W Ave

Present Zoning: RS-3

Fenceline/Area: West Central Tulsa County

Land Use Designation: Rural Residential/Agricultural

TULSA COUNTY BOARD OF ADJUSTMENT CASE REPORT

TRS: 9231

CASE NUMBER: CBOA-3248

CASE REPORT PREPARED BY: Jay Hoyt

HEARING DATE: 3/18/2025 1:30 PM

APPLICANT: Dakota Wayne Burris

ACTION REQUESTED: Use Variance to permit an RV park in the RS district (Section 6.010, Table 6-1)

LOCATION: 5760 S 65th W Ave

ZONED: RS-3

FENCELINE: West Central Tulsa County

PRESENT USE: Vacant

TRACT SIZE: 5.544 acres

LEGAL DESCRIPTION: BEG 1290N & 30W SECR SE TH W1260 S230 TO NL SL&SF RR R/W TH NELY ALG R/W 1263.90 TO PT 30W EL SEC TH N125.2 POB & E30 VAC ST ADJ ON W & S30 VAC ST ADJ ON N LESS N100 E200 & S30 VAC ST ADJ ON N THEREOF SEC 31 19 12 5.544ACS

RELEVANT PREVIOUS ACTIONS:

Subject Property:

CBOA-1848 May 2001: The Board approved a Variance to permit more than one dwelling a a lot of record in an RS district (Section 208) a Special Exception to permit a mobile home in the RS district (Section 410) and a Special Exception to permit waive the time limit on a mobile home (Section 440).

Surrounding Properties:

CBOA-1817 February 2001: The Board approved a Special Exception to allow a Cemetary in the IL district (Use Unit 2).

ANALYSIS OF SURROUNDING AREA: The subject tract is zoned RS-3 and is currently vacant. The tract abuts AG zoning to the North containing Agricultural uses, RS-3 zoning to the East and West containing vacant land, IL zoning to the West containing a commercial business, CG and CS zoning to the South containing commercial businesses and RS-3 zoning to the South containing single-family homes.

STAFF COMMENTS:

The applicant is before the Board to request a Use Variance to permit an RV park in the RS district (Section 6.010, Table 6-1)

An RV park is not a use that is allowed by right or exception in the RS district, necessitating the need for a Use Variance. A Use Variance is required as the proposed use is not permitted by right in the RS-3 district because of the potential adverse effects, but which if controlled in the particular instance as to its relationship to the surrounding area and to the general welfare, may be permitted. The proposed use must be found to be compatible with and non-injurious to the surrounding area.

The applicant provided the statement "The current zoning ordinance creates an unnecessary hardship because of the property's proximity to active railroad tracks makes it undesirable for traditional residential use. The noise, vibrations and frequent train traffic would likely deter potential homeowners, leading to long term vacancy or underutilization of the land. By allowing a variance for an RV park, the property can be put to productive use in a way that accommodates temporary stays rather than permanent residences, making the railroad's impact less of a deterrent. Without the variance, the land remains difficult to develop effectively within the constraints of zoning."

If inclined to approve, the Board may consider any condition it deems necessary and reasonably related to the request to ensure that the proposed variance is compatible with and non-injurious to the surrounding area.

Sample Motion:

"Move to _____ (approve/deny) a Use Variance to permit an RV park in the RS district (Section 6.010, Table 6-1).

Subject to the following conditions, if any: _____.

Finding the hardship to be _____.

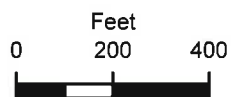
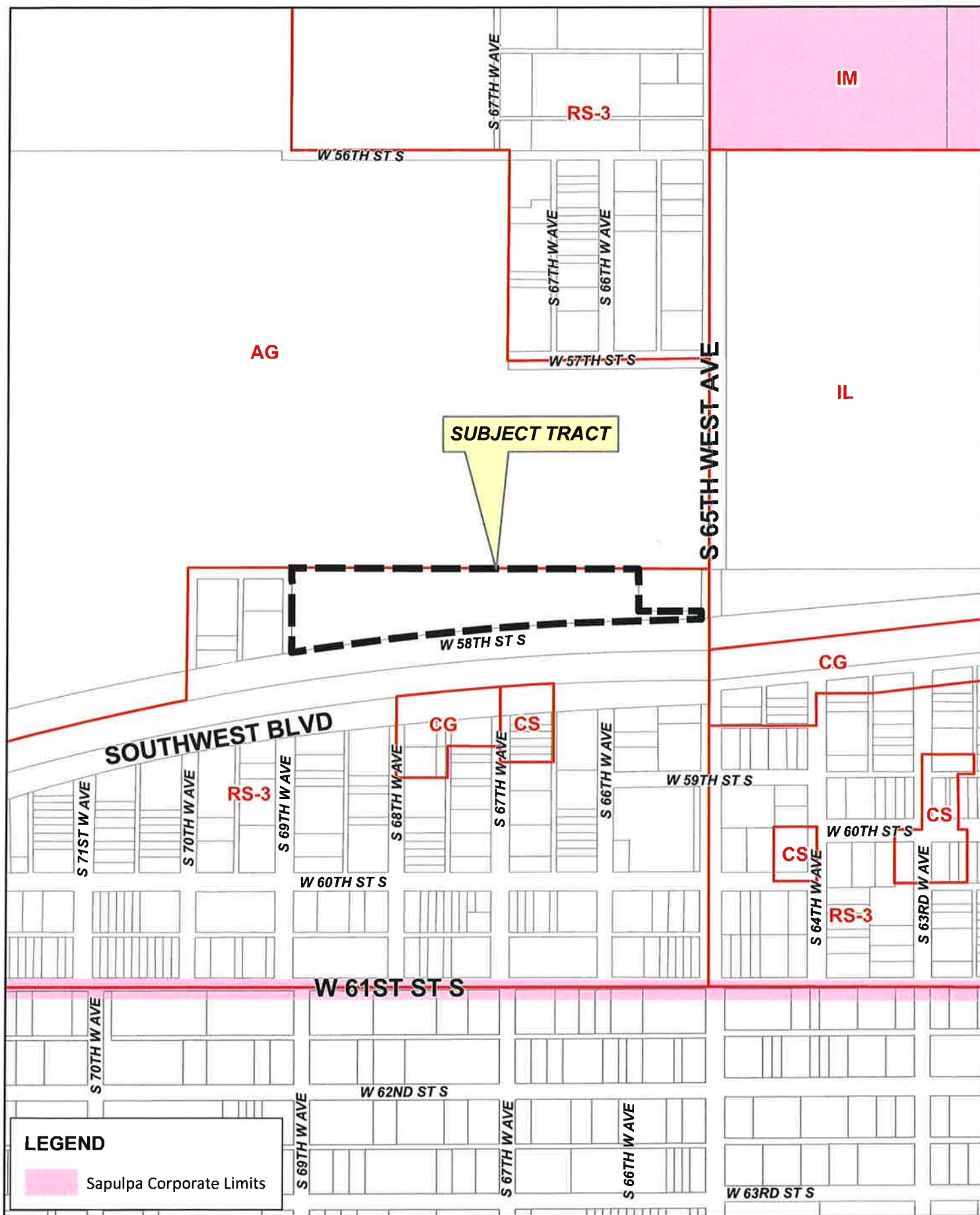
Finding by reason of extraordinary or exceptional conditions or circumstances which are peculiar to the land, structure or building involved, the literal enforcement of the terms of the Code would result in unnecessary hardship; that such extraordinary or exceptional conditions or circumstances do not apply generally to other property in the same use district; and that the variance to be granted will not cause substantial detriment to the public good or impair the purposes, spirit, and intent of the Code, or the Comprehensive Plan.



Subject tract looking Northwest from W 58th St S



Subject tract looking West from S 65th W Ave

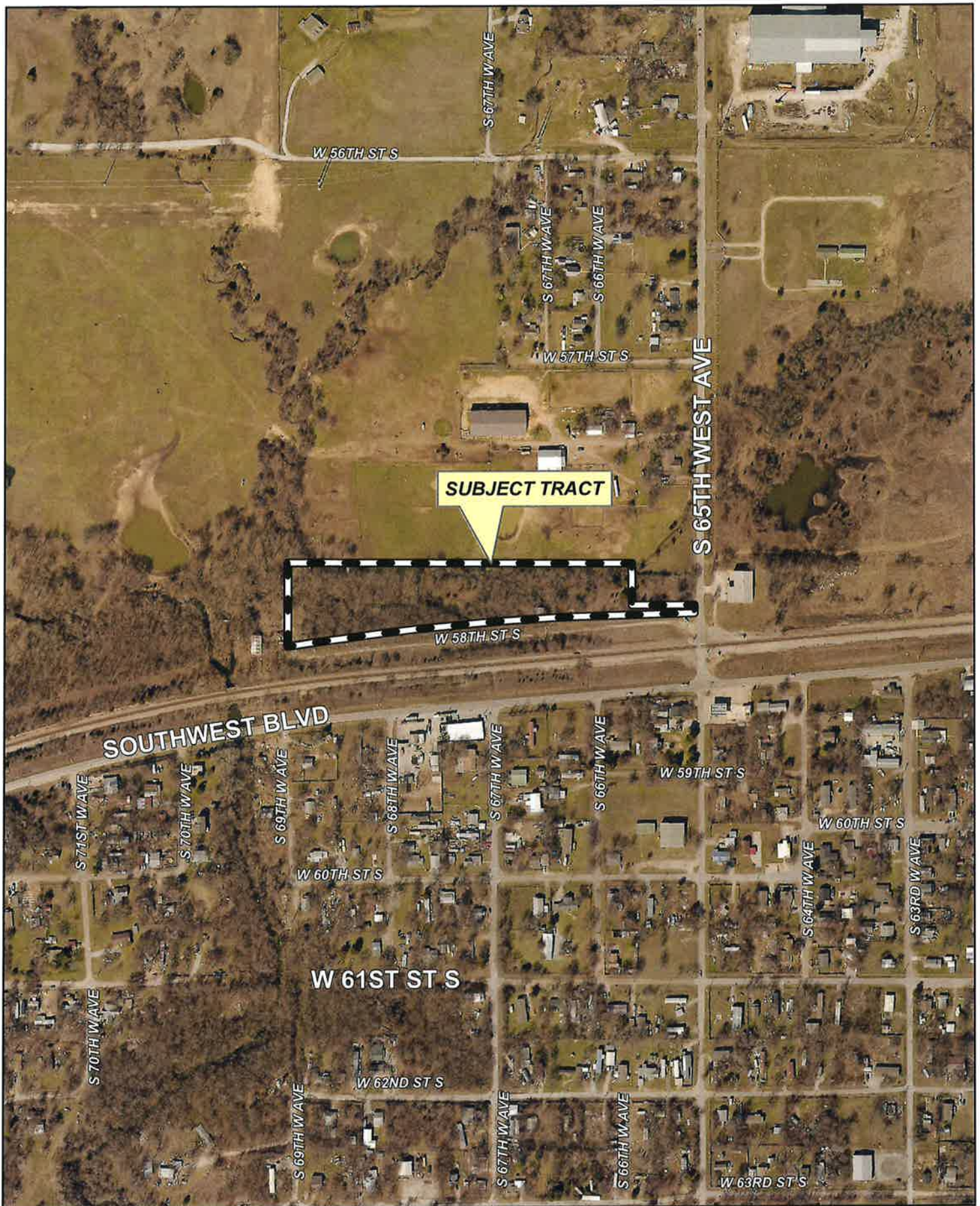


CBOA-3248

31 19-12



CBOA-3248 6.5



0 Feet 200 400



Subject Tract

CBOA-3248

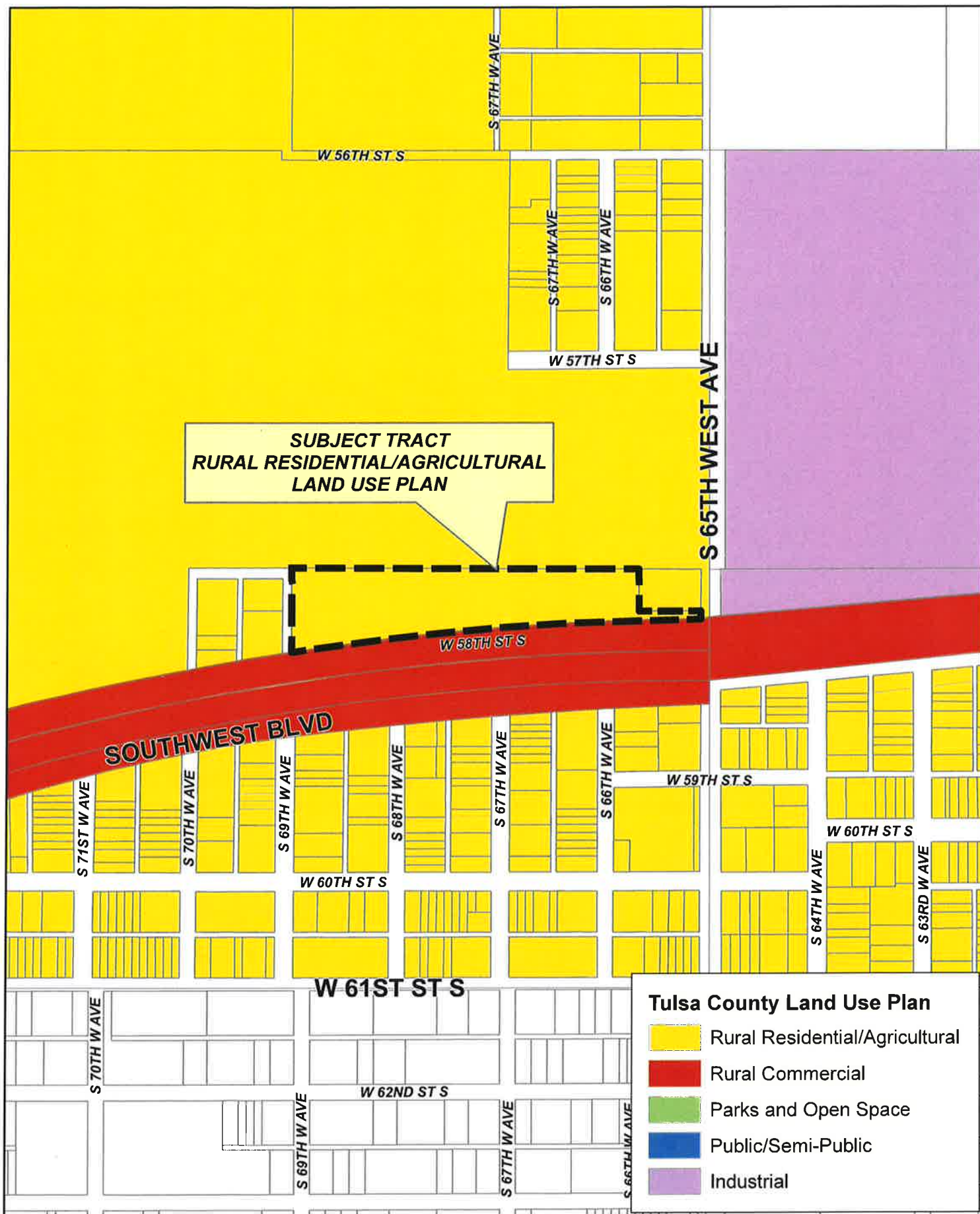
31 19-12

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: 2023

CBOA-3248 6.6





CBOA-3248

31 19-12

CBOA-3248 6.7

Hoyt, Jay

From: rbozone71@gmail.com
Sent: Tuesday, March 04, 2025 5:59 PM
To: esubmit
Subject: Re: West side tv park Case Number: CBOA-3248

Many of these RV parks that pop up in West Tulsa end up putting pedophiles and some of these cases there has been peeping Tom's living in these RV parks that have been caught looking into windows. There's one pedophile that was caught masturbating at a bus stop that would be less than 1000 feet from that RV park. There is a kid riding school that will be next-door to it. There's a bus stop just up the street less than 1000 feet. Many kids that live in the neighborhood that could be VICTON pedophiles please reconsider zoning this as a RV part!!!!
Sent from my iPhone

> On Mar 4, 2025, at 5:54 PM, rbozone71@gmail.com wrote:
>
>
> Sent from my iPhone



Board of Adjustment

Case Number: CBOA-3249

Hearing Date: 3/18/2025 1:30 PM

Case Report Prepared by:

Jay Hoyt

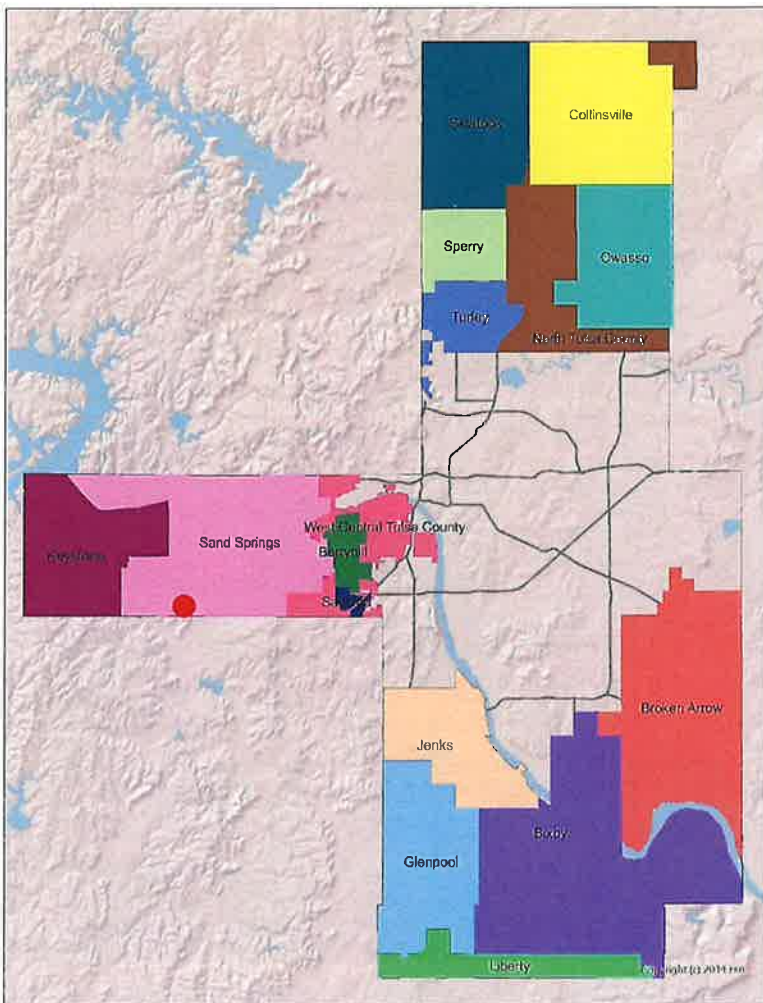
Owner and Applicant Information:

Applicant: John Harris

Property Owner: Same

Action Requested: Special Exception to permit a Recreational Vehicle as a living space in an AG district (Section 8.160)

Location Map:



Additional Information:

Present Use: Residence

Tract Size: 5.73 acres

Location: 16655 W 56th Pl S

Present Zoning: AG/RS-3

Fenceline/Area: Sand Springs

Land Use Designation: Residential

**TULSA COUNTY BOARD OF ADJUSTMENT
CASE REPORT**

TRS: 9131

CASE NUMBER: CBOA-3249

CASE REPORT PREPARED BY: Jay Hoyt

HEARING DATE: 3/18/2025 1:30 PM

APPLICANT: John Harris

ACTION REQUESTED: Special Exception to permit a Recreational Vehicle as a living space in an AG district (Section 8.160)

LOCATION: 16655 W 56th PI S

ZONED: AG/RS-3

FENCELINE: Sand Springs

PRESENT USE: Residence

TRACT SIZE: 5.73 acres

LEGAL DESCRIPTION: E33.36 LT 1 BLK 1 OAK HAVEN II & W367.17 SE SW NE SEC 31 19 11 5.73 ACS

RELEVANT PREVIOUS ACTIONS: None Relevant

ANALYSIS OF SURROUNDING AREA: The subject tract is zone primarily AG with a small portion in RS-3 and contains a residence. The tract abuts AG and RS-3 zoning containing single-family residences and agricultural land.

STAFF COMMENTS:

The applicant is before the Board to request a Special Exception to permit a Recreation Vehicle as a living space in the AG district (Section 8.160)

A special exception is required as the proposed Recreational Vehicle as a living space is a use which is not permitted by right but by exception in the AG district because of potential adverse effects, but which if controlled in the particular instance as to its relationship to the neighborhood and to the general welfare, may be permitted. The Recreational Vehicle as a living space must be found to be compatible with the surrounding neighborhood.

If inclined to approve the request the Board may consider any condition it deems necessary in order to ensure that the proposed recreational vehicle is compatible and non-injurious to the surrounding area.

Sample Motion:

"Move to _____ (approve/deny) a Special Exception to permit a Recreation Vehicle as a living space in the AG district (Section 8.160).

Subject to the following conditions, if any: _____.

In granting a Special Exception, the Board must find that the Special Exception will be in harmony with the spirit and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

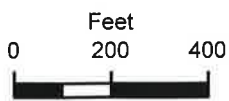


Subject tract looking North from W 56th Pl S



LEGEND

Sand Springs Corporate Limits

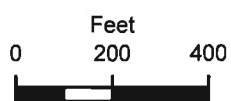


CBOA-3249

31 19-11

CBOA-3249 7.4



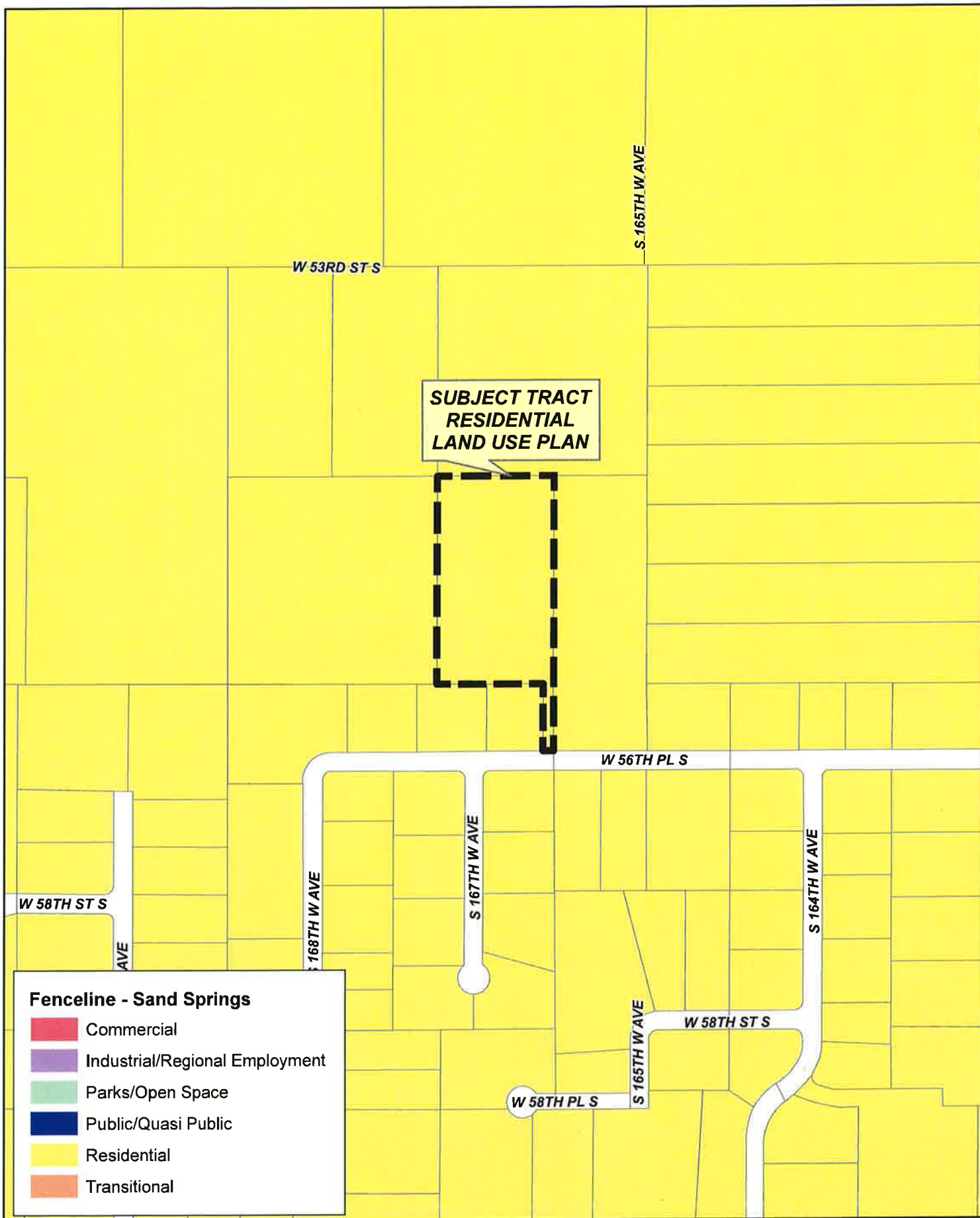


CBOA-3249

31 19-11

CBOA-3249 7.5





CBOA-3249

31 19-11

CBOA-3249 7.6

Boundary Survey with Lot Split & Lot Combo
LOT 1, BLOCK 1
Oak Haven II &
OF A PART OF
Section 31, T-19-N, R-11-E
TULSA COUNTY, OKLAHOMA

Legal Description (Parent Tract—Document No. 2020029272)

THE WEST 30.17 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF

AND
LOT ONE (1), BLOCK ONE (1), OAK HAVEN II, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT NO. 7485
PHYSICAL ADDRESS: 1865 W 56TH PLACE, SAND SPRING, OK 74083

Legal Description (Tract A)

THE EAST 33.36 FEET OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

AND
THE EAST 33.36 FEET OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

AND
THE EAST 33.36 FEET OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

AND
THE EAST 33.36 FEET OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

Legal Description (Tract B)

A PART OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

AND
THE EAST 33.36 FEET OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

AND
THE EAST 33.36 FEET OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

AND
THE EAST 33.36 FEET OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

Legend	
0	3/4" IRON PIN FOUND
1	(IF LESS OTHERWISE NOTED)
2	3/4" IRON PIN FOUND
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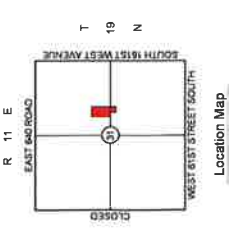
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SURVEY DATE:	02/06/2021
SURVEY BY:	TAR
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SCALE:	1"=50'
FILE NUMBER:	18113100

OKLAHOMA LAND SURVEYING

202 SOUTH MAIN - WAGONER, OK 74467

818.688.9987 • C.A.8050 EXP. 8-20-2022

ALBERT R. JONES, III
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 1560
STATE OF OKLAHOMA
EXPIRATION DATE 12/31/2024



Legal Description (Tract C)

THE EAST 33.36 FEET OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

AND

THE EAST 33.36 FEET OF LOT 1, BLOCK 1, OAK HAVEN II, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTH-RANGE ELEVEN (11) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, RECORDED AS PLAT NUMBER 7485

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Notes

1. ABSTRACT OF TITLE ON ATTORNEY'S TITLE OPINION NOT AVAILABLE TO SURVEYOR AT DATE OF SURVEY.
2. THIS SURVEY WAS NOT CONDUCTED FOR RECORDING PURPOSES. THEREFORE, NO DECLARATIONS OF INTEREST OR EASES WERE MADE. THE SURVEYOR'S RESPONSIBILITY IS LIMITED TO THE ACCURACY OF THE SURVEY DATA AND THE CORRECTNESS OF THE LEGAL DESCRIPTION. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF THE LEGAL DESCRIPTION OR THE CORRECTNESS OF THE SURVEY DATA.
3. OKLAHOMA STATE PLANS COMMISSION EXTERIOR NO. 2020-1000

Surveyor's Statement

I, ALBERT R. JONES, III, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA, DO HEREBY STATE THAT THE ABOVE MAP REPRESENTS A SURVEY PERFORMED IN THE FIELD AND BY DIRECT MEASUREMENT AND BY THE USE OF THE MOST ACCURATE METHODS AND INSTRUMENTS AVAILABLE AT THE DATE THIS SURVEY WAS COMPLETED. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION OF LAND SURVEYING IN THE STATE OF OKLAHOMA. THE SURVEYOR HAS REVIEWED THE SURVEY DATA AND THE LEGAL DESCRIPTION AND HAS DETERMINED THAT THE SURVEY DATA IS ACCURATE AND THE LEGAL DESCRIPTION IS CORRECT. THE SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER SURVEYS OR RECORDS THAT COULD AFFECT THE SURVEY DATA OR THE LEGAL DESCRIPTION. THE SURVEYOR HAS NO OTHER INFORMATION THAT COULD AFFECT THE SURVEY DATA OR THE LEGAL DESCRIPTION. THE SURVEYOR HAS NO OTHER INFORMATION THAT COULD AFFECT THE SURVEY DATA OR THE LEGAL DESCRIPTION.

ALBERT R. JONES, III
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 1560
STATE OF OKLAHOMA
EXPIRATION DATE 12/31/2024

W. 56th Place South

